



**BIRMINGHAM**  
CITY COUNCIL

**PUBLIC SAFETY COMMITTEE MEETING  
TUESDAY, JANUARY 25, 2022  
3:30 P.M.  
COUNCIL CHAMBERS  
COUNCILOR LATONYA A. TATE CHAIRMAN**

**AGENDA**

- A. CALL TO ORDER
- B. APPROVAL OF MINUTES
- C. LIQUOR LICENSES
  - 1. Alpha Charlie Grill
  - 2. Encore Rouge
  - 3. Go Puffs
  - 4. Mountain Express Oil
  - 5. P4L Foodmart
  - 6. Two Amigos Mexican Cantina
- D. ADJOURNMENT

# Liquor Licenses

<p><b>1.</b> Alpha Charlie Grill 4900 East Lake Blvd Brian Kemp</p>	<p>Restaurant Retail Liquor</p>	<p><input type="checkbox"/> Approved Consent Agenda  <input type="checkbox"/> Approved pending  NA _____ ZONING _____  <input type="checkbox"/> No Recommendation  <input type="checkbox"/> DENIED  <input type="checkbox"/> Date: _____  <input type="checkbox"/> Delayed: _____</p>
<p><b>2.</b> Encore Rouge 707 Richard Arrington Jr Blvd South, Suite 102 Shantale Lanese Wheeler Davis Antoinne Davis</p>	<p>Restaurant Retail Liquor</p>	<p><input type="checkbox"/> Approved Consent Agenda  <input type="checkbox"/> Approved pending  NA _____ ZONING _____  <input type="checkbox"/> No Recommendation  <input type="checkbox"/> DENIED  <input type="checkbox"/> Date: _____  <input type="checkbox"/> Delayed: _____</p>
<p><b>3.</b> Go Puffs 2720 7<sup>th</sup> Ave South Rafael Ilishayev Yakir Aaron Gola</p>	<p>Lounge Retail Liquor Class II (Package Store)</p>	<p><input type="checkbox"/> Approved Consent Agenda  <input type="checkbox"/> Approved pending  NA _____ ZONING _____  <input type="checkbox"/> No Recommendation  <input type="checkbox"/> DENIED  <input type="checkbox"/> Date: _____  <input type="checkbox"/> Delayed: _____</p>
<p><b>4.</b> Mountain Express Oil 901 Bankhead Hwy West Chase Begor</p>	<p>Beer Off Premise Wine Off Premise</p>	<p><input type="checkbox"/> Approved Consent Agenda  <input type="checkbox"/> Approved pending  NA _____ ZONING _____  <input type="checkbox"/> No Recommendation  <input type="checkbox"/> DENIED  <input type="checkbox"/> Date: _____  <input type="checkbox"/> Delayed: _____</p>
<p><b>5.</b> P4L Foodmart 3016 Winewood Road Joshuah Thuku</p>	<p>Beer Off Premise Wine Off Premise</p>	<p><input type="checkbox"/> Approved Consent Agenda  <input type="checkbox"/> Approved pending  NA _____ ZONING _____  <input type="checkbox"/> No Recommendation  <input type="checkbox"/> DENIED  <input type="checkbox"/> Date: _____  <input type="checkbox"/> Delayed: _____</p>
<p><b>6.</b> Two Amigos Mexican Cantina 328 Palisades Blvd, Suite 10 Damian Rodriguez Tellez</p>	<p>Restaurant Retail Liquor</p>	<p><input type="checkbox"/> Approved Consent Agenda  <input type="checkbox"/> Approved pending  NA _____ ZONING _____  <input type="checkbox"/> No Recommendation  <input type="checkbox"/> DENIED  <input type="checkbox"/> Date: _____  <input type="checkbox"/> Delayed: _____</p>



JOINT PUBLIC SAFETY AND SPECIAL CALLED COMMITTEE OF THE WHOLE MEETING,  
TUESDAY, JANUARY 11, 2022 | 3:30 P.M.  
COUNCIL CHAMBERS

## MINUTES

COUNCILOR LATONYA A. TATE, COMMITTEE CHAIR

COUNCIL PRESIDENT PRO TEM CRYSTAL N. SMITHERMAN & COUNCIL HUNTER WILLIAMS, COMMITTEE MEMBERS

### A. CALL TO ORDER

The Meeting was called the meeting to order by the Committee Chair, Councilor Tate.

### APPROVAL OF MINUTES

#### Action Taken:

Councilor Smitherman Motioned to Approve the Minutes.

Councilor Tate Seconded the Motion.

The Minutes of the Previous Meeting were Approved as Recorded.

### B. LIQUOR LICENSES

#### Alpha Charlie Grill

4900 East Lake Blvd

Contact: Brian Kemp

Restaurant Retail Liquor

#### Action Taken:

Councilor Smitherman Motioned to Delayed the Item.

Councilor Tate Seconded the Motion.

The Item is Delayed for Two (2) Weeks.

#### Club 84

416 4<sup>th</sup> Avenue North

Contact: Cervonta Barnfield

Lounge Retail Liquor Class I

#### Action Taken:

Councilor Tate Motioned to Delayed the Item.

Councilor Smitherman Seconded the Motion.

The Item is Delayed for Two (2) Weeks.

#### Encore Rouge

707 Richard Arrington Jr Blvd

South, Suite 102

Restaurant Retail Liquor

#### Action Taken:

Councilor Smitherman Motioned to Delayed the Item.

Councilor Tate Seconded the Motion.

The Item is Delayed for Two (2) Weeks

#### Gable Square Saloon and Games

803 9<sup>th</sup> Court South

Contact: Bryce Collins

MINUTES

**Lounge Retail Liquor Class I/Pool Table Permit**

**Action Taken:**

**Councilor Smitherman Motioned to Approve the Item.**

**Councilor Tate Seconded the Motion.**

**The Item was Recommended to the City Council Consent Agenda.**

**Kuntry Klubb**

1157 Bankhead Highway West

**Contact:** Maurice King

**Lounge Retail Liquor Class I/Division I Dance Permit (customer)/Lounge Retail Liquor Class I/ Pool Table Permit**

**Action Taken:**

**Councilor Smitherman Motioned to Approve the Item.**

**Councilor Tate Seconded the Motion.**

**The Item was Recommended to the City Council Consent Agenda.**

**MCE Event Center**

2019 Avenue C Ensley

**Contact:** Fred Kennedy

**Division I Dance permit (customer)/Special Retail License (over30 days)**

**Action Taken:**

**Councilor Tate Motioned to Delayed the Item.**

**Councilor Smitherman Seconded the Motion.**

**The Item is Delayed for Two (2) Weeks.**

**Mahogany**

1709 3<sup>rd</sup> Avenue West

Montego Temple

**Lounge Retail Liquor Class I/Division I Dance Permit (customer)/Pool Table Permit**

**Action Taken:**

**Councilor Smitherman Motion to Forward Item to the City Council Agenda to set a Public Hearing.**

**Councilor Tate Seconded the Motion.**

**Item Recommended to the City Council Agenda to set a Public Hearing.**

**Neighborhood Market**

1313 14<sup>th</sup> Avenue North

**Contact:** Brian Sanders/Gregory Ramsey

**Beer Off Premise/Wine Off Premise**

**Action Taken:**

**Councilor Smitherman Motioned to Delayed the Item.**

**Councilor Tate Seconded the Motion.**

**The Item is Delayed for Two (2) Weeks.**

**P4L Foodmart**

3016 Winewood Road

**Contact:** Joshua Thuku

**Beer Off Premise/Wine Off Premise**

**Action Taken:**

**Councilor Tate Motioned to Delayed the Item.**

**Councilor Smitherman Seconded the Motion.**

**The Item is Delayed for Two (2) Weeks.**

MINUTES

**Two Amigos Mexican Cantina**

328 Palisades Blvd, Suite 10

**Contact:** Damian Rodriguez Tellez

Restaurant Retail Liquor

**Action Taken:**

**Councilor Tate Motioned to Delayed the Item.**

**Councilor Smitherman Seconded the Motion.**

**The Item is Delayed for Two (2) Weeks.**

**Ghost Train Brewing**

3501 1<sup>st</sup> Ave South

**Contact:** David Taylor Dedoer

Manufacturer - Alcohol

**Action Taken:**

**Councilor Smitherman Motioned to Approve the Item.**

**Councilor Tate Seconded the Motion.**

**The Item was Recommended to the City Council Consent Agenda.**

C. **ADJOURNMENT**

**Councilor Smitherman Motioned to Adjourn.**

**Councilor Tate Seconded the Motion.**

**The Meeting was Adjourned.**

# LICENSE STATUS REPORT FORM

Date: **3/25/21**

To: Hunter Williams, Chairman  
Public Safety

Subject: Applicant's Name Alpha Charlie Grill LLC  
Business Name Alpha Charlie Grill  
Business Address 4900 East Lake Blvd

### Type of License & Description

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I           | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I                    | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input type="checkbox"/> Beer Off Premise                       | <input type="checkbox"/> Beer On & Off Premise                         |
| <input type="checkbox"/> Wine Off Premise                       | <input type="checkbox"/> Wine On & Off Premise                         |
| <input checked="" type="checkbox"/> Restaurant Retail Liquor    | <input type="checkbox"/> Special Retail License (over 30 days)         |
| <input type="checkbox"/> Special Retail License (under 30 days) | <input type="checkbox"/> Pool Table Permit                             |
| <input type="checkbox"/> Division I Dance Permit (customers)    | <input type="checkbox"/> Division II Dance Permit                      |

The Inglersack Neighborhood Association met on 8/14/05/2021 and voted in reference to the above named license application. The concerns of the Neighborhood regarding the granting of this license are indicated as follows: (Please check one)

8 Attendance    0 Oppose    8 Support    \_\_\_ No Recommendation

Reason for Opposition No Opposition

Applicant: Yes attended NA meeting    \_\_\_ did not attend NA meeting

Kevin P. ...  
President

(Please return this form to the of attention Hunter Williams /Public Safety; City of Birmingham; 710 North 20<sup>th</sup> Street, Birmingham, AL 35203; City Council Chambers; 3<sup>rd</sup> Floor) Failure to attend the neighborhood meeting may result in a delay in the liquor process.

**New Application: Retail Beer/Wine (On/Off Premise)**

The following applicant has applied to the City of Birmingham for an alcohol, dance or pool table license:

Name of Applicant: Alpha Charlie Grill LLC  
Mailing Address: 4900 East Lake Blvd  
Birmingham, AL 35217  
Trade Name: Alpha Charlie Grill  
Location Address: 4900 East Lake Blvd  
Contact Number: (205) 508-5998 Contact Person: Brian Kemp

New Application  Transfer

Type of License

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I                 | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I (Fraternal)              | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input type="checkbox"/> Beer Off Premise                             | <input checked="" type="checkbox"/> Beer On & Off Premise              |
| <input type="checkbox"/> Wine Off Premise                             | <input checked="" type="checkbox"/> Wine On & Off Premise              |
| <input type="checkbox"/> Restaurant Retail Liquor                     | <input type="checkbox"/> Special Retail Liquor (7 days or less)        |
| <input type="checkbox"/> Special Retail Liquor (over 30 days)         | <input type="checkbox"/> Special Retail Liquor (under 30 days)         |
| <input type="checkbox"/> Division I Dance Permit (customer)           | <input type="checkbox"/> Division II Dance Permit (entertainers)       |
| <input type="checkbox"/> Pool Table Permit (send copy of application) |  |

Kitchen equipped: yes  no

Number of table and chairs 12TBS/81CHS

Date Applied: 3/25/21

Revenue Examiner: GS

Copy: Fire Prevention  
Health Department  
Community Development  
Operation New Birmingham  
Melanie Genkin (pool tables)  
Katrina Thomas (PEP)

**City of Birmingham  
Application for  
Alcoholic Beverage License**

**New Application**   
**Transfer**

**RETAIL BEER-TYPE 040/WINE-TYPE 060(ON OFF PRE**

**By: GS**

(Enter Type of License Applied For)

(Revenue Official)

1. Name of Applicant (s) Alpha Charlie Grill LLC

(Indicate whether Individual, Partnership, Corporation, LLC, LLP, etc)

2. Name and address of individual applicant or all partners and members if partnership or assoc., or all officers and directors, if corporation  
(Attach separate sheet if necessary)

Social Security Number Drivers License Number Name of Owner, Officer or Partner	Title	Date of Birth Place of Birth	Present Residence Address	Length of Residence at Place Named
██████████ ALDL # ██████████ Brian Alan Kemp	Member	██████████ Birmingham AL	1662 Big Mountain Dr Birmingham, AL 35235	6 years

Note: If a corporation, LLC or LLP, give place and date of incorporation or issuance of certificate of authority to do business in Alabama:

Book 840-323 Page: 1 of 3 Date: 3/14/2021 County: Jefferson  
Foreign Corporation: certificate of Authority Date:  (get copy of original papers)

3. Trade Name Alpha Charlie Grill

4(a) Location 4900 East Lake Blvd  
Exact Street Number, or if on Highway, give details as to Location  
Birmingham, Alabama Zip Code 35217 County  Jefferson  Shelby

(b) Length of time at this location

(c) Mailing Address: 4900 East Lake Blvd Birmingham, AL 35217

(d) Business Phone \_\_\_\_\_ Fax: \_\_\_\_\_ Other Contact: (205)508-5998

5. Name, trade name and License number of last or previous licensee:  
Trade name \_\_\_\_\_ Year  Type \_\_\_\_\_ Taxpayer ID \_\_\_\_\_

6 (a) Owner of real estate for which license is desired Romeo Whiskey Holdings LLC  
1012 Irving Rd Homewood, AL 35209 Address \_\_\_\_\_

(b) Give a full description of the premises for which a license is desired: New Construction  Existing Structure   
Description  1 Story Bldg

(c) Is establishment equipped with tables and chairs? Yes  No  If "Yes", how many? 12TBS/81CHS

7. Has a liquor, malt or brewed beverage license for premises ever been denied, suspended or revoked?  Yes  No  
If "Yes", explain fully \_\_\_\_\_

8 (a) Pool Tables? Yes  No  Coin Operated? Yes  No  Standard Provider:

(b) Video Games? Yes  No  Juke Box or Slot Musical Equipment? Yes  No

(c) Vending Machines (Snacks/Sodas)? Yes  No  Cigarettes or Tobacco Products? Yes  No  Other?

9 (a) Will you allow dancing? Yes  No  If "Yes": Customer/Patron?  Div I Exhibition/Performance?  Div II

(b) Independent Contract Employees (Disc Jockey, Band, Bartenders, Servers)? Yes  No



- 10 (a) Are these premises kitchen equipped? Yes  No  Not Applicable
- (b) Is kitchen apart from but convenient to the dining room? Yes  No
- (c) Is place of business habitually and principally used for providing food to the public? Yes  No
- (d) If not kitchen equipped, is any type of food served? Yes  No  If "Yes", explain \_\_\_\_\_
- (e) Are these premises equipped for on premises consumption of liquor? Yes  No
- (f) Will this business be operating primarily as a package store? Yes  No
- (g) Seating Capacity: 81
- (h) For a SPECIAL RETAIL LICENSE, less than thirty (30) days: Starting Date \_\_\_\_\_ Ending Date \_\_\_\_\_
- (i) For a SPECIAL RETAIL LICENSE, more than thirty (30) days: Starting Date \_\_\_\_\_ Ending Dec. 31, \_\_\_\_\_

(j) For a SPECIAL EVENTS RETAIL LICENSE, not to exceed seven (7) days: Starting \_\_\_\_\_ Ending \_\_\_\_\_  
 (Note: Application must be filed 120 days in advance of event for which license is applied for)

- (k) Event Sponsor \_\_\_\_\_ Phone Number \_\_\_\_\_
- (1) Sponsor Letter of Designation? Yes  No
- (2) Multi-Vendor Sponsorship? Yes  No
- (3) Street Closing Required Yes  No
- (4) Park Board Permission Yes  No

- 11 (a) Does the club charge and collect dues from elected members? Yes  No
- (b) How many paid-up members are there in the club? \_\_\_\_\_
- (c) Are regular meetings held? Yes  No  If so, when? \_\_\_\_\_
- (d) Is business conducted through officers regularly elected? Yes  No
- (e) Are members admitted by written application, investigation, and ballot? Yes  No
- (f) For what purpose is the club organized and operated? Social  Patriotic  Political  Athletic  Other

12. List below the court records for law violations in the last ten (10) years, if any, of each person interested in this application, including the manager, whether as sole applicant, partner, officer, member, or landlord. (Do not include traffic violations, except D.U.I. and reckless driving. If no record, state "None".)

Name	Violation Charged	Name of Court	Date	Disposition of Case

Applicant for the Alcoholic Beverage license requested by the aforementioned applicant hereby swears or affirms that he or she has read said application and that all the statements therein and the facts set forth therein are true and correct, and that the applicant is the only person interested in the business for which said license is requested.

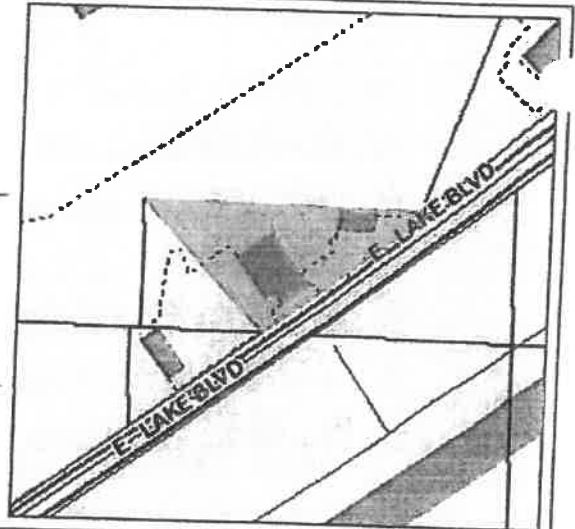
Sworn and subscribed before me this 25<sup>th</sup> day of March, 2021

Brian [Signature]  
 Signature of Affiant

[Signature]  
 Signature of Revenue Official

**This application will not be processed until all fees due at the time of application are paid and receipts are on file.**

**PARCEL ID:** 012300084002048000



**SOURCE:** TAX ASSESOR RECORDS      **TAX YEAR:** 2019

**DATE:** Thursday, March 25, 2021 9:37:51 AM

**OWNER:** ROMEO WHISKEY HOLDINGS LLC

**ADDRESS:** 1012 IRVING RD

**CITY/STATE:** HOMEWOOD AL

**ZIP+4:** 35209

**SITE ADDR:**

**CITY/STATE:** , AL

**ZIP:**

**LAND:** \$342,800.00

**BLDG:** \$290,700.00

**OTHER:** \$0.00

**AREA:** 49,331.07

**ACRES:** 1.13

**SUBDIVISION INFORMATION:**

**NAME** DOCKERYS AD-BHAM 23-17-1

**BLOCK:**

**LOT:** 1

**Section:** 8-17-2W

**Land Slide Zones:** Not in Land Slide Zones

**Historic Districts:** Not in Historic Districts

**Commercial Revitalization District:** Not in Commercial Revitalization District

**Fire District:** Not in Fire District

**Flood Zones:** Not in Flood Zones

**Tax Increment Financing District:** Not in Tax Increment Financing District

**Neighborhoods:** Inglenook (502)

**Communities:** East Birmingham (5)

**Council Districts:** District - 4 (Councilor: William Parker)

**Zoning Outline:** QM1

**Demolition Quadrants:** DEM Quadrant - 3

**Impaired Watersheds:** Impaired Watershed - Upper Village Creek

**Strategic Opportunity Area:** Not in Strategic Opportunity Area

**RISE Focus Area:** In RISE Focus Area

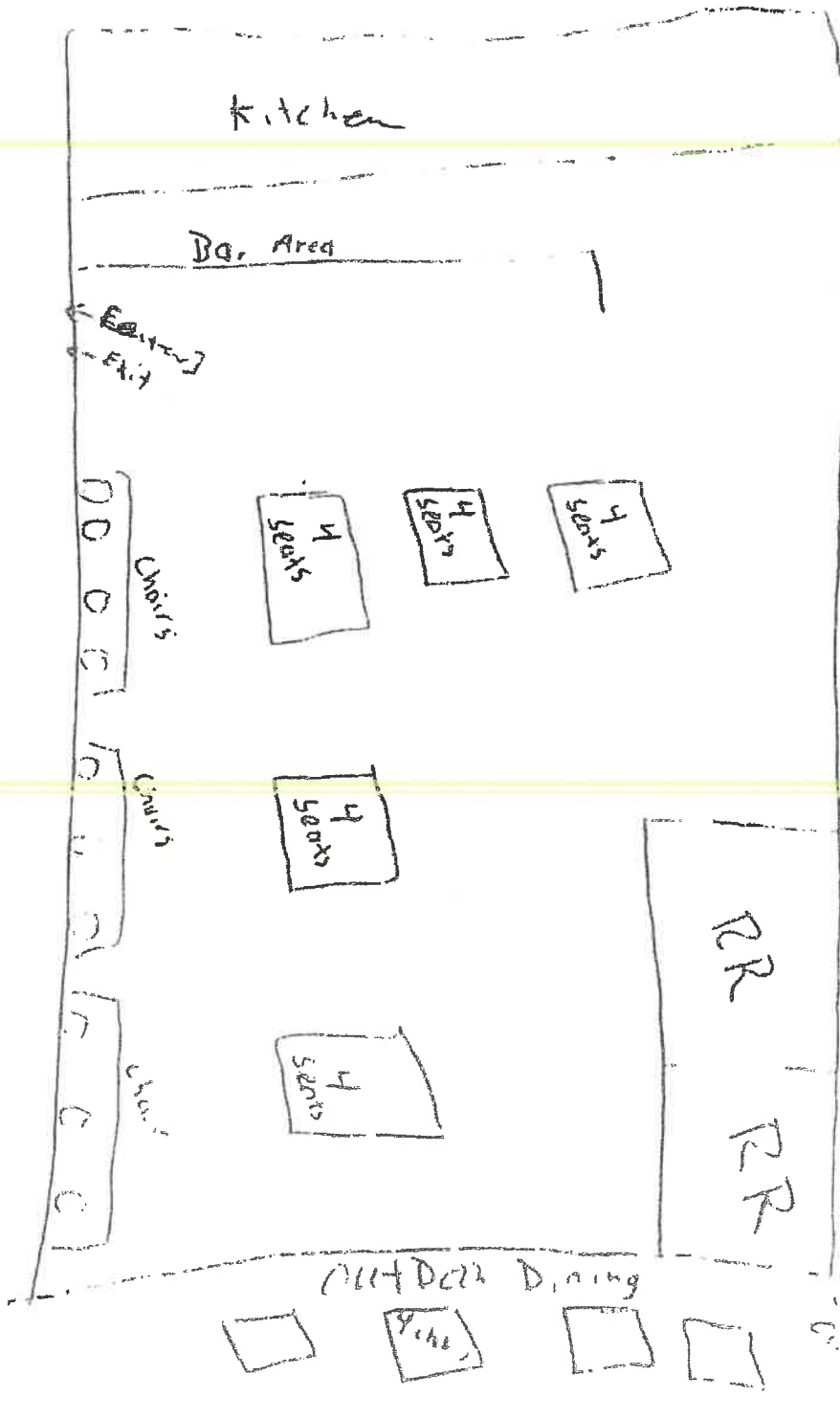
**Tax Delinquent Property:** Not in Tax Delinquent Property

**EPA Superfund:** Not in EPA Superfund

**Opportunity Zones:** In Opportunity Zones

**Judicial Boundaries:** JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



PLEASE CORRECT ADDRESS FOR THIS CASE.  
THANKS.  
Sheila

# LICENSE STATUS REPORT FORM

Date: 10/18/21

To: Hunter Williams, Chairman  
Public Safety

Subject: Applicant's Name Encore Rouge, LLC  
Business Name Encore Rouge  
Business Address 707 Richard Arrington Jr Blvd S, Ste 102

Type of License & Description

- Lounge Retail Liquor Class I
- Club Liquor Class I
- Beer Off Premise
- Wine Off Premise
- Restaurant Retail Liquor
- Special Retail License (under 30 days)
- Division I Dance Permit (customers)

WRONG ADDRESS IS 7TH AVE SOUTH ACROSS FROM ARBY'S PER APPLICANT

- Lounge Retail Liquor Class II (Package Store)
- Club Liquor Class II (Private)
- Beer On & Off Premise
- Wine On & Off Premise
- Special Retail License (over 30 days)
- Pool Table Permit
- Division II Dance Permit

The FIVE POINTS SOUTH Neighborhood Association met on DEC 19, 2021 and voted in reference to the above named license application. The concerns of the Neighborhood regarding the granting of this license are indicated as follows: (Please check one)

Attendance     Oppose     Support     No Recommendation  
VOTED YES

Reason for Opposition NONE

NEIGHBORHOOD THINKS THIS BUILDING IS GOOD LOCATION FOR RESTAURANTS & LIQUOR ASSOCIATED WITH EATING/DINING.

Applicant:  attended NA meeting AND HIS ATTORNEY

did not attend NA meeting

Sheila McChaffin  
SHEILA M CHAFFIN  
President

CELL 205-914-3286

(Please return this form to the of attention Hunter Williams /Public Safety; City of Birmingham; 710 North 20<sup>th</sup> Street, Birmingham, AL 35203; City Council Chambers; 3<sup>rd</sup> Floor) Failure to attend the neighborhood meeting may result in a delay in the liquor process.

SCANNED IN AND E-MAILED 12/20/21 TO:

INDIA BAILEY INDIA.BAILEY@BIRMINGHAMAL.GOV  
GREGORY STANLEY GREGORY.STANLEY@BIRMINGHAMAL.GOV  
BRAD Mc GIBONEY BRAD@ALALC.COM (APPLICANT'S ATTORNEY)

## New Application: Restaurant Retail Liquor – Type 020

The following applicant has applied to the City of Birmingham for an alcohol, dance or pool table license:

Name of Applicant: **Encore Rouge, LLC**

Mailing Address: **916 23<sup>rd</sup> St S  
Birmingham, AL 35233**

Trade Name: **Encore Rouge**

Location Address: **707 Richard Arrington Jr Blvd S, Ste 102**

Contact Number: **(205)601-9935**                      Contact Person:  
**Brad McGiboney**

New Application                       Transfer

### Type of License

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I                 | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I (Fraternal)              | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input type="checkbox"/> Beer Off Premise                             | <input type="checkbox"/> Beer On & Off Premise                         |
| <input type="checkbox"/> Wine Off Premise                             | <input type="checkbox"/> Wine On & Off Premise                         |
| <input checked="" type="checkbox"/> Restaurant Retail Liquor          | <input type="checkbox"/> Special Retail Liquor (7 days or less)        |
| <input type="checkbox"/> Special Retail Liquor (over 30 days)         | <input type="checkbox"/> Special Retail Liquor (under 30 days)         |
| <input type="checkbox"/> Division I Dance Permit (customer)           | <input type="checkbox"/> Division II Dance Permit (entertainers)       |
| <input type="checkbox"/> Pool Table Permit (send copy of application) |  |

Kitchen equipped: yes  no

Number of table and chairs 22TBS/50CHS

Date Applied: 10/18/21

Revenue Examiner: GS

Copy: Fire Prevention  
Health Department  
Community Development  
Operation New Birmingham  
Melanie Genkin (pool tables)  
Katrina Thomas (PEP)

**City of Birmingham  
Application for  
Alcoholic Beverage License**

New Application   
Transfer

**RESTAURANT RETAIL LIQUOR-TYPE 020**

(Enter Type of License Applied For)

By: **GS**

(Revenue Official)

1. Name of Applicant (s) Encore Rouge, LLC  
(Indicate whether Individual, Partnership, Corporation, LLC, LLP, etc)
2. Name and address of individual applicant or all partners and members if partnership or assoc., or all officers and directors, if corporation  
(Attach separate sheet if necessary)

Social Security Number Drivers License Number Name of Owner, Officer or Partner	Title	Date of Birth Place of Birth	Present Residence Address	Length of Residence at Place Named
ALDL# [REDACTED] Shantale Lanese Wheeler Davis	Member	[REDACTED] Birmingham, AL	104 Overview Dr Sterrett, AL 35147	11 years
ALDL# [REDACTED] Antoinne Davis	Member	[REDACTED] Birmingham, AL	104 Overview Dr Sterrett, AL 35147	11 years

Note: If a corporation, LLC or LLP, give place and date of incorporation or issuance of certificate of authority to do business in Alabama:

Book 367-690 Page: 1 of 4 Date: 02/09/2017 County: Jefferson  
Foreign Corporation: certificate of Authority Date:    (get copy of original papers)

3. Trade Name Encore Rouge
- 4(a) Location 707 Richard Arrington Jr Blvd S, Ste 102  
Exact Street Number, or if on Highway, give details as to Location  
Birmingham, Alabama Zip Code 35233 County  Jefferson  Shelby
- (b) Length of time at this location
- (c) Mailing Address: 916 23rd St S Birmingham, AL 35205
- (d) Business Phone    Fax:    Other Contact: (205)601-9935

5. Name, trade name and License number of last or previous licensee:  
Trade name    Year    Type    Taxpayer ID   

- 6 (a) Owner of real estate for which license is desired Central City Developers LLC  
120 18th St S Ste 201 Birmingham, AL 35233 Address
- (b) Give a full description of the premises for which a license is desired: New Construction  Existing Structure   
Description  Multi-Story Bldg
- (c) Is establishment equipped with tables and chairs? Yes  No  If "Yes", how many? 22TBS/50CHS

7. Has a liquor, malt or brewed beverage license for premises ever been denied, suspended or revoked?  Yes  No  
If "Yes", explain fully   

- 8 (a) Pool Tables? Yes  No  Coin Operated? Yes  No  Standard Provider:  
(b) Video Games? Yes  No  Juke Box or Slot Musical Equipment? Yes  No   
(c) Vending Machines (Snacks/Sodas)? Yes  No  Cigarettes or Tobacco Products? Yes  No  Other?

- 9 (a) Will you allow dancing? Yes  No  If "Yes": Customer/Patron?  Div I Exhibition/Performance?  Div II  
(b) Independent Contract Employees (Disc Jockey, Band, Bartenders, Servers)? Yes  No

- 10 (a) Are these premises kitchen equipped? Yes  No  Not Applicable
- (b) Is kitchen apart from but convenient to the dining room? Yes  No
- (c) Is place of business habitually and principally used for providing food to the public? Yes  No
- (d) If not kitchen equipped, is any type of food served? Yes  No  If "Yes", explain \_\_\_\_\_
- (e) Are these premises equipped for on premises consumption of liquor? Yes  No
- (f) Will this business be operating primarily as a package store? Yes  No
- (g) Seating Capacity: \_\_\_\_\_
- (h) For a SPECIAL RETAIL LICENSE, less than thirty (30) days: Starting Date \_\_\_\_\_ Ending Date \_\_\_\_\_
- (i) For a SPECIAL RETAIL LICENSE, more than thirty (30) days: Starting Date \_\_\_\_\_ Ending Dec. 31, \_\_\_\_\_
- (j) For a SPECIAL EVENTS RETAIL LICENSE, not to exceed seven (7) days: Starting \_\_\_\_\_ Ending \_\_\_\_\_  
 (Note: Application must be filed 120 days in advance of event for which license is applied for)
- (k) Event Sponsor \_\_\_\_\_ Phone Number \_\_\_\_\_
- (1) Sponsor Letter of Designation? Yes  No
- (2) Multi-Vendor Sponsorship? Yes  No
- (3) Street Closing Required Yes  No
- (4) Park Board Permission Yes  No

- 11 (a) Does the club charge and collect dues from elected members? Yes  No
- (b) How many paid-up members are there in the club? \_\_\_\_\_
- (c) Are regular meetings held? Yes  No  If so, when? \_\_\_\_\_
- (d) Is business conducted through officers regularly elected? Yes  No
- (e) Are members admitted by written application, investigation, and ballot? Yes  No
- (f) For what purpose is the club organized and operated? Social  Patriotic  Political  Athletic  Other

12. List below the court records for law violations in the last ten (10) years, if any, of each person interested in this application, including the manager, whether as sole applicant, partner, officer, member, or landlord. (Do not include traffic violations, except D.U.I. and reckless driving. If no record, state "None".)

Name	Violation Charged	Name of Court	Date	Disposition of Case
No Applicants				

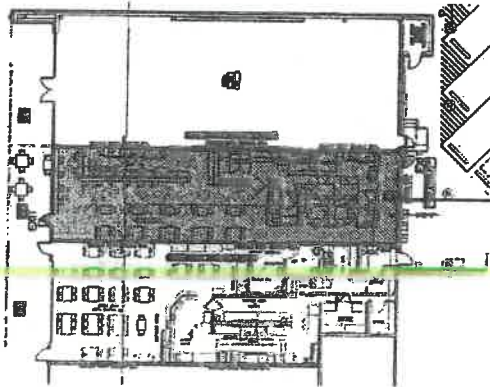
Applicant for the Alcoholic Beverage license requested by the aforementioned applicant hereby swears or affirms that he or she has read said application and that all the statements therein and the facts set forth therein are true and correct, and that the applicant is the only person interested in the business for which said license is requested.

Sworn and subscribed before me this 18<sup>th</sup> day of October, 2021

Bill J. Mose  
Signature of Affiant

[Signature]  
Signature of Revenue Official

This application will not be processed until all fees due at the time of application are paid and receipts are on file.





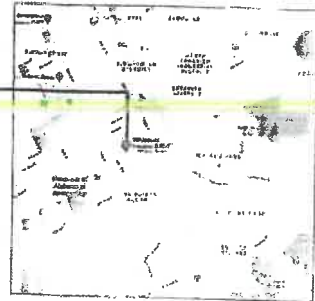
**03 PROJECT LOCATION PLAN**  
 1/16" = 1'-0"





**02 SITE KEY PLAN**  
 1/16" = 1'-0"

**PROJECT SITE:**  
**ENCORE ROUGE RESTAURANT**  
**AT THE WAITES BUILDING**  
**707 RICHARD ARRINGTON BLVD., SUITE 102**  
 BIRMINGHAM, AL 35233





**01 VICINITY PLAN**  
 1/16" = 1'-0"



TENANT IMPROVEMENT PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
**AT THE WAITES BUILDING**  
 707 RICHARD ARRINGTON BLVD., SUITE 102  
 BIRMINGHAM, AL 35233

**CKH**  
**Architects, P.C.**  
 2000 15th Ave  
 Birmingham, Alabama 35202

ORIGINAL MAN/DRAWN  
**08/13/2021**  
 CONSTRUCTION SET  
 REVISED

SHEET NUMBER  
**A1.0**





**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35233

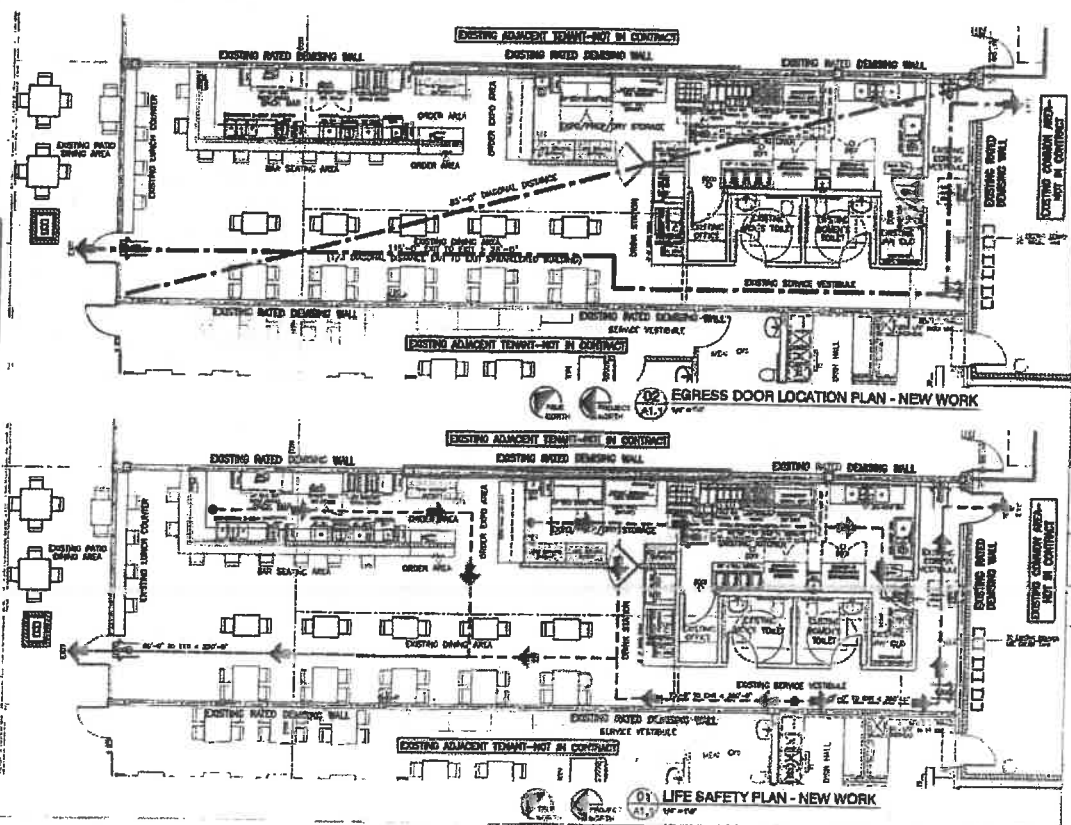
CKH  
 Architects, P.C.  
 1000 15th Ave  
 Birmingham, Alabama 35202  
 Telephone: (205) 988-8888  
 Fax: (205) 988-8889  
 Website: www.ckharchitects.com

ISSUANCE DATE  
**08/13/2021**  
 CONSTRUCTION SET  
 RESPONSE

SHEET NUMBER  
**A1.1**

**ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35233  
 (±1,830 RSF)  
 (TOTAL RENTABLE AREA)

**ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35233  
 (±1,830 RSF)  
 (TOTAL RENTABLE AREA)



EGRESS DOOR LOCATION PLAN - NEW WORK

LIFE SAFETY PLAN - NEW WORK



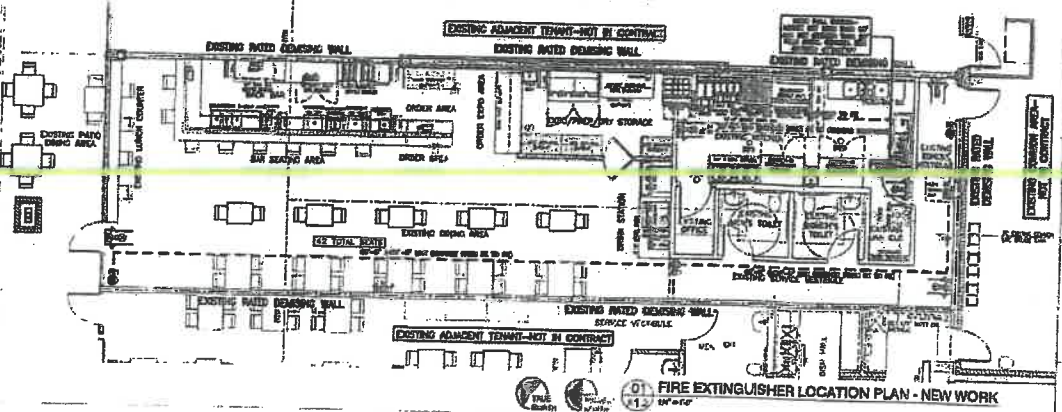
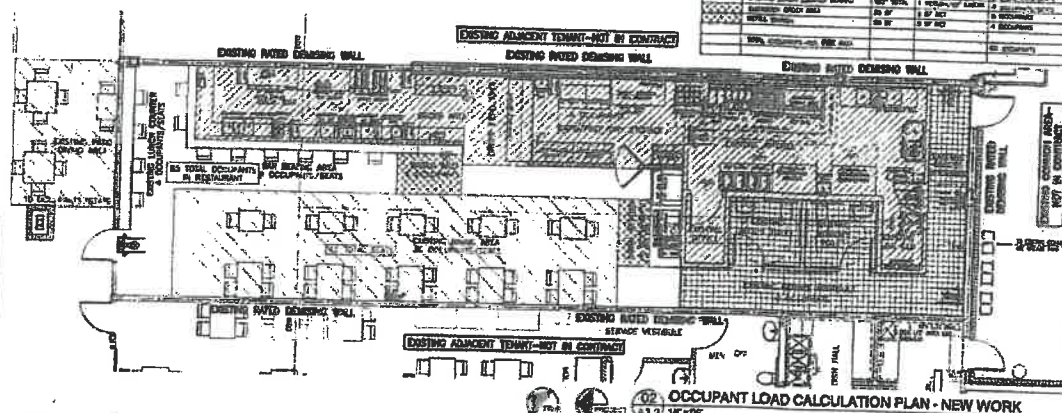
TENANT IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35233

CKH  
 Architects, P.C.  
 2000 14th Ave  
 Birmingham, Alabama 35203

ORIGINAL SCALE DATE  
 08/13/2021  
 CONSTRUCTION ACT  
 RESTAURANT

SHEET NUMBER  
**A1.2**

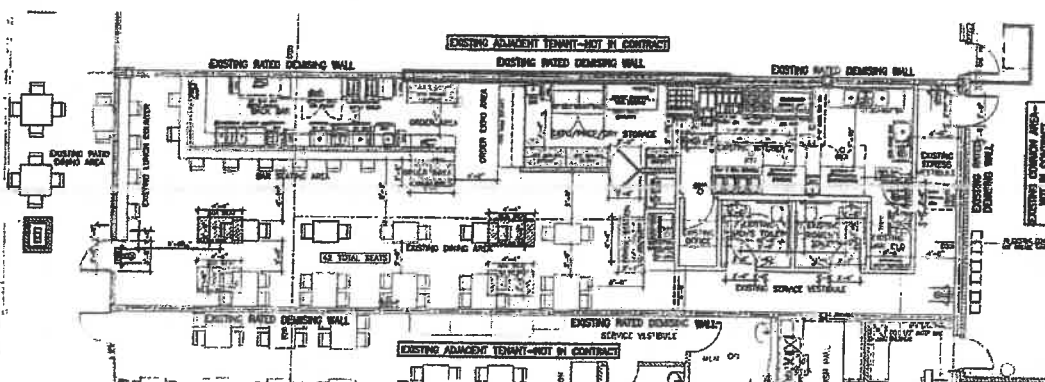
ROOM NAME	ROOM NO.	AREA (SQ FT)	AREA (SQ M)	# OCCUPANTS
ENCORE ROUGE RESTAURANT	102	11,800	1,090	100
EXISTING ADJACENT TENANT	101	11,800	1,090	100
EXISTING ADJACENT TENANT	103	11,800	1,090	100
EXISTING ADJACENT TENANT	104	11,800	1,090	100
EXISTING ADJACENT TENANT	105	11,800	1,090	100
EXISTING ADJACENT TENANT	106	11,800	1,090	100
EXISTING ADJACENT TENANT	107	11,800	1,090	100
EXISTING ADJACENT TENANT	108	11,800	1,090	100
EXISTING ADJACENT TENANT	109	11,800	1,090	100
EXISTING ADJACENT TENANT	110	11,800	1,090	100
EXISTING ADJACENT TENANT	111	11,800	1,090	100
EXISTING ADJACENT TENANT	112	11,800	1,090	100
EXISTING ADJACENT TENANT	113	11,800	1,090	100
EXISTING ADJACENT TENANT	114	11,800	1,090	100
EXISTING ADJACENT TENANT	115	11,800	1,090	100
EXISTING ADJACENT TENANT	116	11,800	1,090	100
EXISTING ADJACENT TENANT	117	11,800	1,090	100
EXISTING ADJACENT TENANT	118	11,800	1,090	100
EXISTING ADJACENT TENANT	119	11,800	1,090	100
EXISTING ADJACENT TENANT	120	11,800	1,090	100



**ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35233  
 (±1,800 RSF)  
 (TOTAL RENTABLE AREA)

**ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35233  
 (±1,800 RSF)  
 (TOTAL RENTABLE AREA)

**ENCORE ROUGE RESTAURANT**  
AT THE WAITES BUILDING  
707 RICHARD ARRINGTON BLVD  
SUITE 102  
BIRMINGHAM, AL 35229  
(41,800 SQ FT)  
(TOTAL RENTABLE AREA)



01 FIRE EXTINGUISHER LOCATION PLAN - NEW WORK  
1.01  
DATE: 08/13/2021  
PROJECT: 2021-01-01



TEENANT IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
AT THE WAITES BUILDING  
707 RICHARD ARRINGTON BLVD, SUITE 102  
BIRMINGHAM, AL 35229

**CKH Architects, P.C.**  
300 West Park  
Birmingham, Alabama 35243  
www.ckharchitects.com  
08/13/2021  
CONSTRUCTION SET  
REVISED

SHEET NUMBER  
**A1.3**



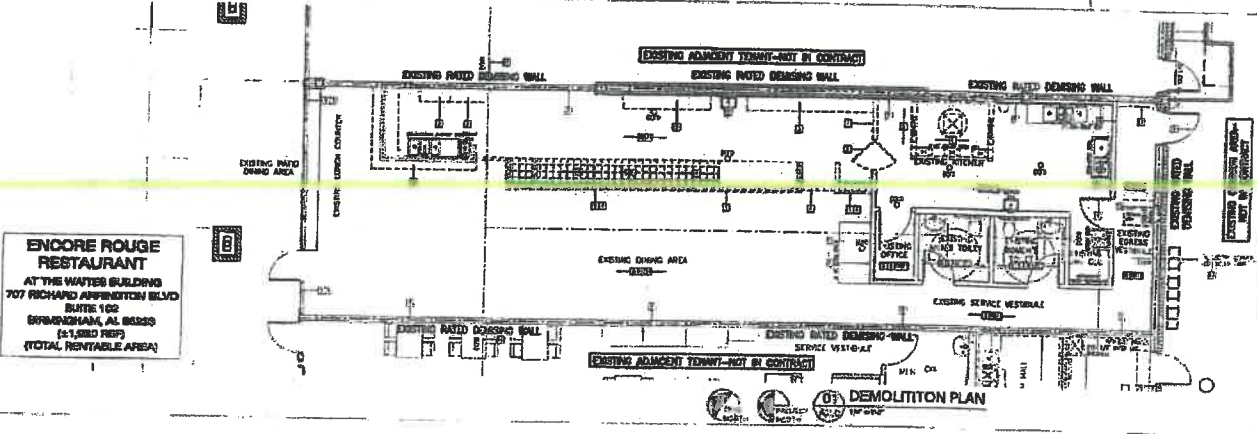
TERMINALS IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WATERS BUILDING  
 707 RICHARD ARRINGTON BLVD., SUITE 102  
 BIRMINGHAM, AL 35233

CKH Architects, P.C.  
 510 Maple  
 Montgomery, AL 36106  
 (205) 942-9900

08/18/2021  
 CONSTRUCTION SET  
 BIRMINGHAM

SHEET NUMBER  
**A2.0**

DEMOLITION GENERAL NOTES	DEMOLITION GENERAL NOTES	DEMOLITION SYMBOL LEGEND
<p><b>Legend:</b> The symbol contained in this sheet is intended to identify the building of this project. Demolition symbols are not shown for all existing buildings. They are shown for buildings which are to be demolished. The symbol for a building which is to be demolished is shown in the upper right corner of the drawing.</p> <p><b>1. Demolition:</b> All work shown on this drawing shall be done in accordance with the following: Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p> <p><b>2. Demolition:</b> All work shown on this drawing shall be done in accordance with the following: Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p>	<p><b>1. Demolition:</b> All work shown on this drawing shall be done in accordance with the following: Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p> <p><b>2. Demolition:</b> All work shown on this drawing shall be done in accordance with the following: Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p> <p><b>3. Demolition:</b> All work shown on this drawing shall be done in accordance with the following: Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p>	<p><b>Legend:</b> The symbol contained in this sheet is intended to identify the building of this project. Demolition symbols are not shown for all existing buildings. They are shown for buildings which are to be demolished. The symbol for a building which is to be demolished is shown in the upper right corner of the drawing.</p>
<p><b>DEMOLITION NOTES</b></p> <p>1. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p> <p>2. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p> <p>3. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing. Demolition shall be done in the order shown on this drawing.</p>		



**ENCORE ROUGE RESTAURANT**  
 AT THE WATERS BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35233  
 (±1,300 RSF)  
 (TOTAL RENTABLE AREA)



TELEPHONE IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
AT THE WAITES BUILDING  
707 RICHARD ARRINGTON BLVD, SUITE 102  
BIRMINGHAM, AL 35233

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Architects, P.C.  
1000 20th St  
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205.988.1234  
ckharchitects.com

ORIGINAL ISSUE DATE  
**08/13/2021**  
CONSTRUCTION SET  
REVISIONS

SHEET NUMBER  
**A2.1**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

2. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

3. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

4. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

5. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

6. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

7. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

8. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

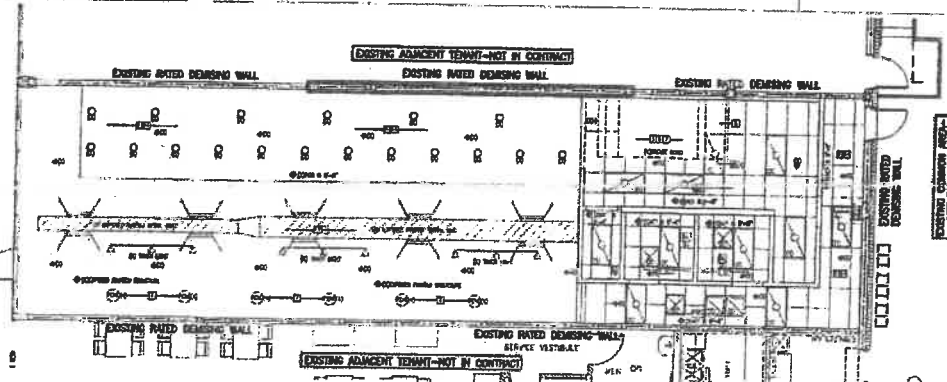
9. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

10. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE FEDERAL CLEAN AIR ACT. ALL DEMOLITION SHALL BE ACCORDING TO THE REQUIREMENTS OF THE FEDERAL CLEAN AIR ACT AND THE FEDERAL CLEAN WATER ACT.

**DEMOLITION SYMBOL LEGEND**

[Symbol]	Existing Structure to be Demolished
[Symbol]	Existing Foundation to be Demolished
[Symbol]	Existing Retaining Wall to be Demolished
[Symbol]	Existing Utility to be Demolished
[Symbol]	Existing Structure to be Retained
[Symbol]	Existing Foundation to be Retained
[Symbol]	Existing Retaining Wall to be Retained
[Symbol]	Existing Utility to be Retained

**ENCORE ROUGE RESTAURANT**  
AT THE WAITES BUILDING  
707 RICHARD ARRINGTON BLVD  
SUITE 102  
BIRMINGHAM, AL 35233  
61,500 RSF  
(TOTAL RENTABLE AREA)



01 DEMOLITION RCP  
13 AUG 2021



CKH  
Architects, P.C.  
2000 Valley View  
Montgomery, Alabama 36122  
Tel: 205-261-1100  
Fax: 205-261-1101  
www.ckharchitects.com

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2000 Valley View  
Montgomery, Alabama 36122  
Tel: 205-261-1100  
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www.ckharchitects.com

08/15/2021  
CONSTRUCTION SET  
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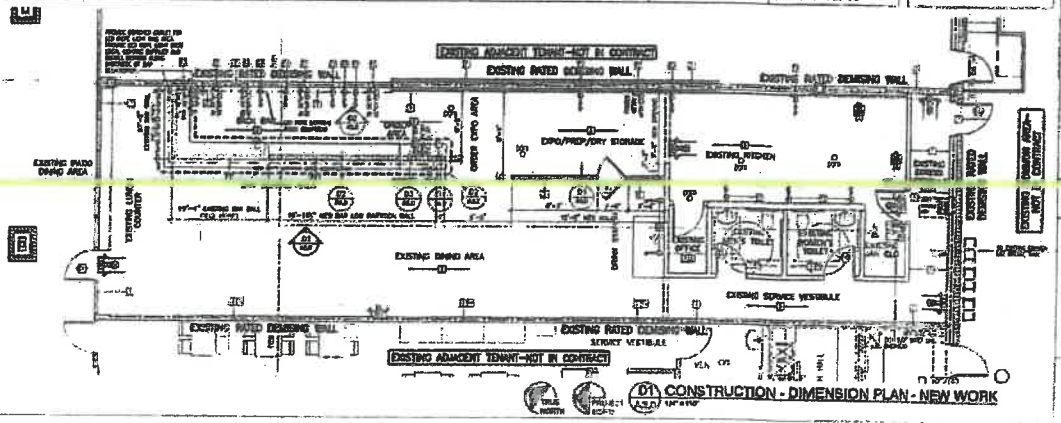
SHEET NUMBER  
A3.0

**CONSTRUCTION NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF ALABAMA AND THE CITY OF BIRMINGHAM, ALABAMA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BIRMINGHAM AND THE ALABAMA DEPARTMENT OF REVENUE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BIRMINGHAM AND THE ALABAMA DEPARTMENT OF REVENUE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF ALABAMA AND THE CITY OF BIRMINGHAM, ALABAMA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BIRMINGHAM AND THE ALABAMA DEPARTMENT OF REVENUE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF ALABAMA AND THE CITY OF BIRMINGHAM, ALABAMA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BIRMINGHAM AND THE ALABAMA DEPARTMENT OF REVENUE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF ALABAMA AND THE CITY OF BIRMINGHAM, ALABAMA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BIRMINGHAM AND THE ALABAMA DEPARTMENT OF REVENUE.

PLAN SYMBOL LEGEND	TYPICAL WALL LEGEND
<p>1. 1'-0" WALL</p> <p>2. 1'-0" WALL WITH DOOR</p> <p>3. 1'-0" WALL WITH WINDOW</p> <p>4. 1'-0" WALL WITH GLASS CURTAIN WALL</p> <p>5. 1'-0" WALL WITH GLASS PARTITION</p> <p>6. 1'-0" WALL WITH GLASS PARTITION AND DOOR</p> <p>7. 1'-0" WALL WITH GLASS PARTITION AND WINDOW</p> <p>8. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL</p> <p>9. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND DOOR</p> <p>10. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND WINDOW</p> <p>11. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p> <p>12. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND DOOR</p> <p>13. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND WINDOW</p> <p>14. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p> <p>15. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND DOOR</p> <p>16. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND WINDOW</p> <p>17. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p> <p>18. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND DOOR</p> <p>19. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND WINDOW</p> <p>20. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p>	<p>1. 1'-0" WALL</p> <p>2. 1'-0" WALL WITH DOOR</p> <p>3. 1'-0" WALL WITH WINDOW</p> <p>4. 1'-0" WALL WITH GLASS CURTAIN WALL</p> <p>5. 1'-0" WALL WITH GLASS PARTITION</p> <p>6. 1'-0" WALL WITH GLASS PARTITION AND DOOR</p> <p>7. 1'-0" WALL WITH GLASS PARTITION AND WINDOW</p> <p>8. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL</p> <p>9. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND DOOR</p> <p>10. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND WINDOW</p> <p>11. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p> <p>12. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND DOOR</p> <p>13. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND WINDOW</p> <p>14. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p> <p>15. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND DOOR</p> <p>16. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND WINDOW</p> <p>17. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p> <p>18. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND DOOR</p> <p>19. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND WINDOW</p> <p>20. 1'-0" WALL WITH GLASS PARTITION AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL AND GLASS CURTAIN WALL</p>

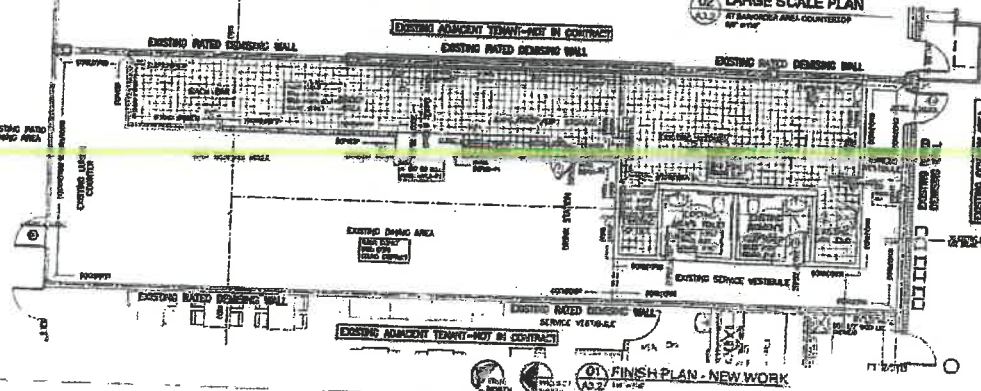
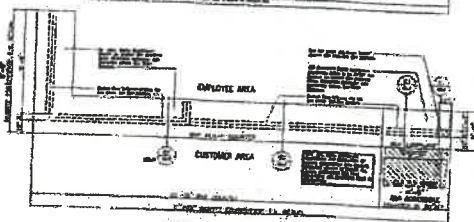
**ENCORE ROUGE RESTAURANT**  
AT THE WAITES BUILDING  
707 RICHARD ARRINGTON BLVD  
SUITE 102  
BIRMINGHAM, AL 35203  
(61,200 SQ FT)  
(TOTAL RENTABLE AREA)



01 CONSTRUCTION - DIMENSION PLAN - NEW WORK



NEW OVERLAYS				NEW DECKING - 2" X 8" GOLF			
1. [Text]	2. [Text]	3. [Text]	4. [Text]	5. [Text]	6. [Text]	7. [Text]	8. [Text]
9. [Text]	10. [Text]	11. [Text]	12. [Text]	13. [Text]	14. [Text]	15. [Text]	16. [Text]
17. [Text]	18. [Text]	19. [Text]	20. [Text]	21. [Text]	22. [Text]	23. [Text]	24. [Text]
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185. [Text]	186. [Text]	187. [Text]	188. [Text]	189. [Text]	190. [Text]	191. [Text]	192. [Text]
193. [Text]	194. [Text]	195. [Text]	196. [Text]	197. [Text]	198. [Text]	199. [Text]	200. [Text]



**ENCORE ROUGE RESTAURANT**  
 AT THE WATERS BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35203  
 (±1,530 RSF)  
 (TOTAL RENTABLE AREA)



TEENY'S IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WATERS BUILDING  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35203

CKH  
 Architects, P.C.  
 2000 15th Ave  
 Birmingham, Alabama 35202  
 205.988.8888

CONTRACT NUMBER  
 08/13/2021  
 CONSTRUCTION SET  
 08/13/2021

Sheet Number  
**A3.2**

01 FINISH PLAN - NEW WORK  
 03.2 1/16" = 1'-0"





TECHNICAL IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD. SUITE 102  
 BIRMINGHAM, AL 35233

CKH  
 Architects, P.C.  
 3000 Lake  
 Montgomery, Birmingham 35202  
 ORIGINAL ISSUE DATE  
 08/13/2021  
 CONSTRUCTION SET  
 REVISIONS

DATE PLOTTED  
 A4.0

THIS PLAN IS THE PROPERTY OF CKH ARCHITECTS, P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CKH ARCHITECTS, P.C.

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**GENERAL NOTES**

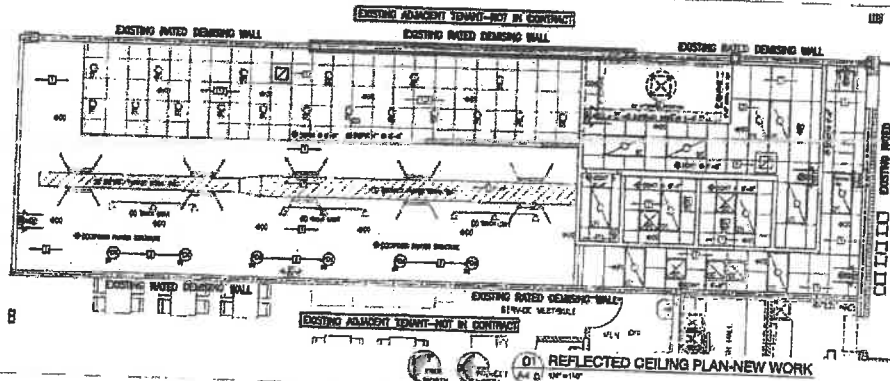
1. ALL NOTES, UNLESS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

**PCIS WIRING NOTES**

1. ALL WIRING SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

**ROF/LDW VOLTAGE CONSTRUCTION NOTES**

1. ALL ROF/LDW VOLTAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.



**ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD  
 SUITE 102  
 BIRMINGHAM, AL 35203  
 (±1,800 SQ FT)  
 (TOTAL RENTABLE AREA)



**A NEW ENCORE ROUGE RESTAURANT  
AT THE WAITES BUILDING**  
707 RICHARD ARRINGTON BLVD, SUITE 102  
BIRMINGHAM, AL 35223

CKH  
Architects, P.C.  
3300 Valley Road  
Birmingham, Alabama 35224  
205.988.8888

08/13/2021  
CONSTRUCTION SET

DESK/OWNER  
A4.1

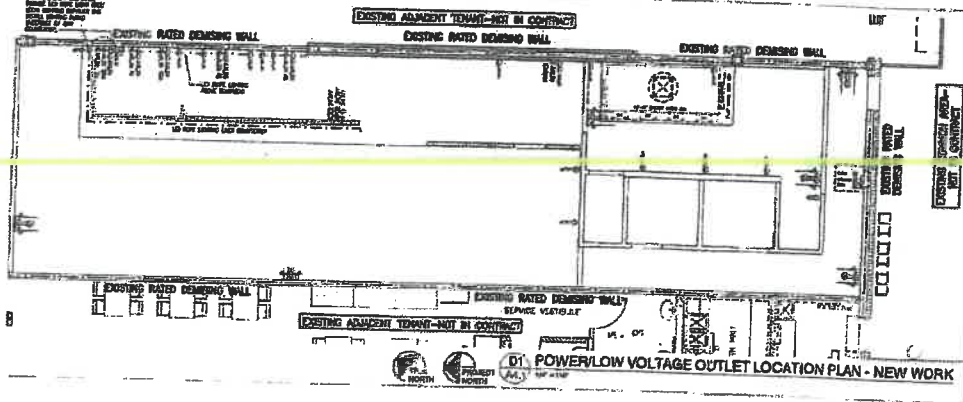
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Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description
[Symbol]	1" x 1" Square Acoustic Tile	[Symbol]	2" x 2" Square Acoustic Tile	[Symbol]	4" x 4" Square Acoustic Tile	[Symbol]	6" x 6" Square Acoustic Tile	[Symbol]	12" x 12" Square Acoustic Tile	[Symbol]	18" x 18" Square Acoustic Tile	[Symbol]	24" x 24" Square Acoustic Tile	[Symbol]	36" x 36" Square Acoustic Tile
[Symbol]	1" x 1" Square Acoustic Tile with Grid	[Symbol]	2" x 2" Square Acoustic Tile with Grid	[Symbol]	4" x 4" Square Acoustic Tile with Grid	[Symbol]	6" x 6" Square Acoustic Tile with Grid	[Symbol]	12" x 12" Square Acoustic Tile with Grid	[Symbol]	18" x 18" Square Acoustic Tile with Grid	[Symbol]	24" x 24" Square Acoustic Tile with Grid	[Symbol]	36" x 36" Square Acoustic Tile with Grid
[Symbol]	1" x 1" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	2" x 2" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	4" x 4" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	6" x 6" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	12" x 12" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	18" x 18" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	24" x 24" Square Acoustic Tile with Grid and Gypsum Board	[Symbol]	36" x 36" Square Acoustic Tile with Grid and Gypsum Board
[Symbol]	1" x 1" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	2" x 2" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	4" x 4" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	6" x 6" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	12" x 12" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	18" x 18" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	24" x 24" Square Acoustic Tile with Grid and Gypsum Board and Paint	[Symbol]	36" x 36" Square Acoustic Tile with Grid and Gypsum Board and Paint

**GENERAL NOTES**

1. All work shall be in accordance with the approved plans and specifications. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for coordinating all work with the existing building systems and structure. The contractor shall be responsible for protecting all existing building systems and structure. The contractor shall be responsible for maintaining access to all existing building systems and structure. The contractor shall be responsible for maintaining the safety of all workers and the public. The contractor shall be responsible for maintaining the cleanliness of the work area. The contractor shall be responsible for maintaining the schedule of the project. The contractor shall be responsible for maintaining the quality of the work. The contractor shall be responsible for maintaining the cost of the project. The contractor shall be responsible for maintaining the safety of the project. The contractor shall be responsible for maintaining the schedule of the project. The contractor shall be responsible for maintaining the quality of the work. The contractor shall be responsible for maintaining the cost of the project. The contractor shall be responsible for maintaining the safety of the project.

**POWER/LOW VOLTAGE CONSTRUCTION NOTES**

1. All work shall be in accordance with the approved plans and specifications. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for coordinating all work with the existing building systems and structure. The contractor shall be responsible for protecting all existing building systems and structure. The contractor shall be responsible for maintaining access to all existing building systems and structure. The contractor shall be responsible for maintaining the safety of all workers and the public. The contractor shall be responsible for maintaining the cleanliness of the work area. The contractor shall be responsible for maintaining the schedule of the project. The contractor shall be responsible for maintaining the quality of the work. The contractor shall be responsible for maintaining the cost of the project. The contractor shall be responsible for maintaining the safety of the project.



**ENCORE ROUGE RESTAURANT  
AT THE WAITES BUILDING**  
707 RICHARD ARRINGTON BLVD  
SUITE 102  
BIRMINGHAM, AL 35223  
(51,880 RSF)  
(TOTAL RENTABLE AREA)

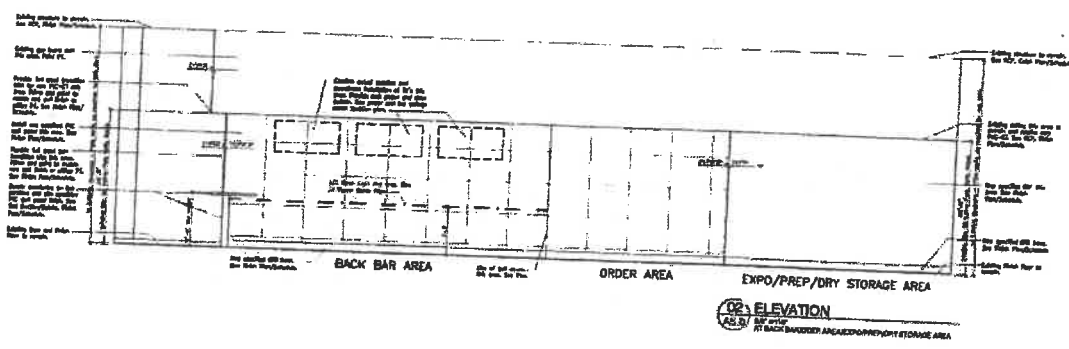


TELETYPE IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WAITES BUILDING  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35203

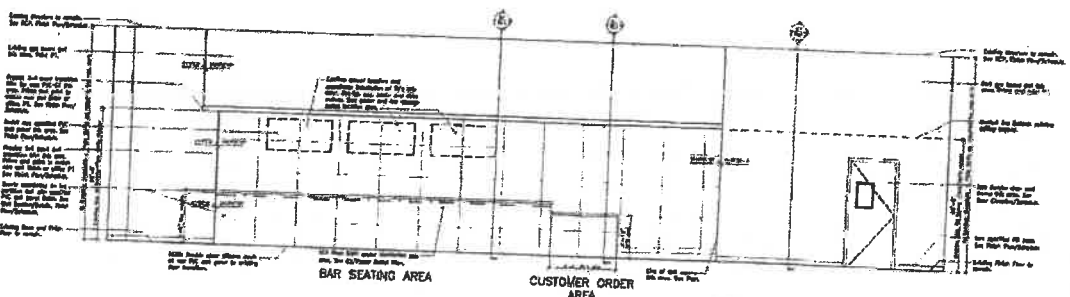
CKH  
 Architects, P.C.  
 2000 14th Ave  
 Birmingham, Alabama 35203  
 205-988-8888

CONSTRUCTION SET  
 08/13/2021  
 CONSTRUCTION SET  
 REVISIONS

1 OF 11 SHEETS  
**A5.0**



**02 ELEVATION**  
 A5.01  
 AT BACK BAR/ORDER/ANEXA/DRY STORAGE AREA



**01 ELEVATION**  
 A5.02  
 AT BAR SEATING/CUSTOMER ORDER AREA

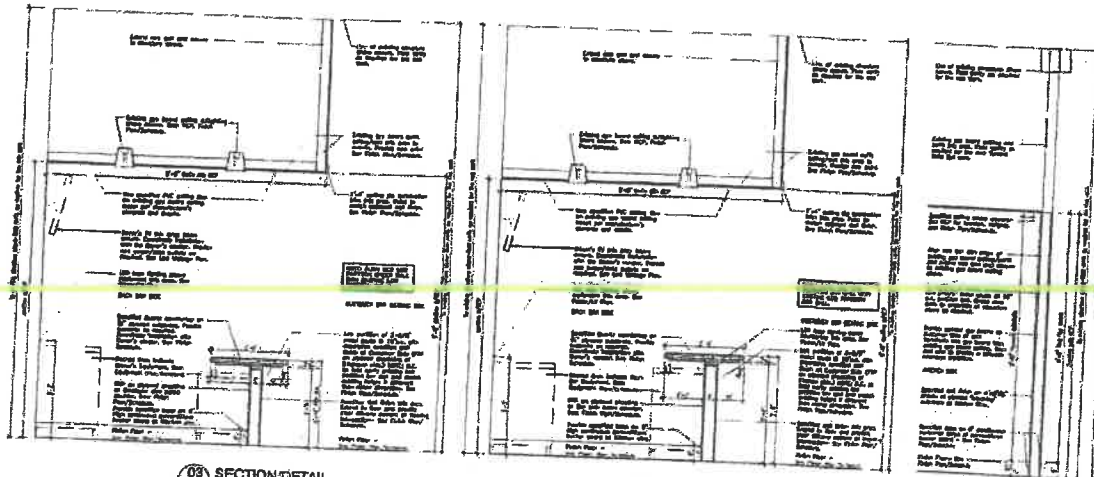


TENANTS IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WATKINS BUILDING  
 707 RICHARD ARRINGTON BLVD., SUITE 102  
 BIRMINGHAM, AL 35203

**CKH**  
 Architects, P.C.  
 2000 15th Ave S  
 Birmingham, AL 35204  
 Tel: 205.948.1100  
 Fax: 205.948.1101  
 www.ckh.com

ORIGINAL ISSUE DATE  
**08/13/2021**  
 CONSTRUCTION SET  
 REVISIONS

SHEET NUMBER  
**A6.0**



**PLUMBING SPECIFICATIONS**

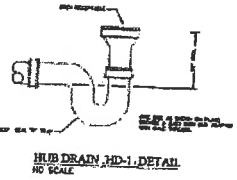
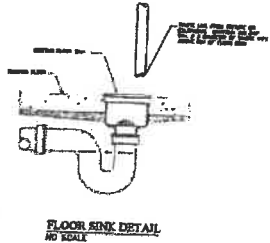
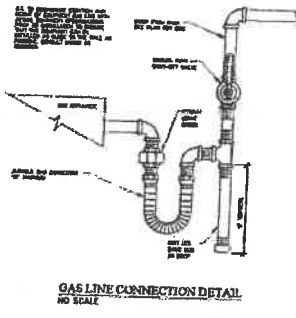
- 1. Installation and all the other plumbing work shall be in accordance with the following:
  - a. All plumbing work shall conform to the plumbing code of the City of Birmingham, Alabama, and all applicable amendments thereto.
  - b. All plumbing work shall conform to the plumbing code of the State of Alabama, and all applicable amendments thereto.
  - c. All plumbing work shall conform to the plumbing code of the United States of America, and all applicable amendments thereto.
- 2. The Contractor shall be responsible for obtaining all necessary permits and licenses for the plumbing work to be performed under this contract.
- 3. The Contractor shall be responsible for providing all necessary labor, materials, and equipment for the plumbing work to be performed under this contract.
- 4. The Contractor shall be responsible for the safety of all workers and the public during the performance of the plumbing work under this contract.
- 5. The Contractor shall be responsible for the protection of all existing plumbing work and other utilities located in the vicinity of the work.
- 6. The Contractor shall be responsible for the removal and disposal of all debris and waste materials generated during the performance of the plumbing work.
- 7. The Contractor shall be responsible for the cleaning and painting of all plumbing fixtures and equipment installed under this contract.
- 8. The Contractor shall be responsible for the testing and inspection of all plumbing work installed under this contract.
- 9. The Contractor shall be responsible for the completion of all plumbing work by the specified schedule and within the specified budget.
- 10. The Contractor shall be responsible for the maintenance and repair of all plumbing work installed under this contract.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND LICENSES FOR THE PLUMBING WORK TO BE PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC DURING THE PERFORMANCE OF THE PLUMBING WORK UNDER THIS CONTRACT.

ALL WORK SHALL BE DETAIL AS APPLICABLE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC DURING THE PERFORMANCE OF THE PLUMBING WORK UNDER THIS CONTRACT.

NEW KITCHEN EQUIPMENT PLUMBING CONNECTION SCHEDULE			
NO.	DESCRIPTION	QUANTITY	UNIT
1	Water Sink	1	Each
2	Dish Sink	1	Each
3	Hot Water Tank	1	Each
4	Water Supply Lines	100	Feet
5	Drainage Pipes	100	Feet
6	Gas Lines	50	Feet
7	Plumbing Fixtures	1	Each
8	Plumbing Materials	1	Lot

NEW PLUMBING SPECIALTIES SCHEDULE			
NO.	DESCRIPTION	QUANTITY	UNIT
1	Water Sink	1	Each
2	Dish Sink	1	Each
3	Hot Water Tank	1	Each
4	Water Supply Lines	100	Feet
5	Drainage Pipes	100	Feet
6	Gas Lines	50	Feet
7	Plumbing Fixtures	1	Each
8	Plumbing Materials	1	Lot



**CKH Architects, P.C.**  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35223

TELEPHONE IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT  
 AT THE WAILES BUILDING**  
 ORIGINAL DATE: 08/15/2021  
 CONSTRUCTION SET

SHEET NUMBER  
**P1.0**

MICHAELS ENGINEERING LLC  
 1000 15TH AVENUE N.W.  
 BIRMINGHAM, AL 35202

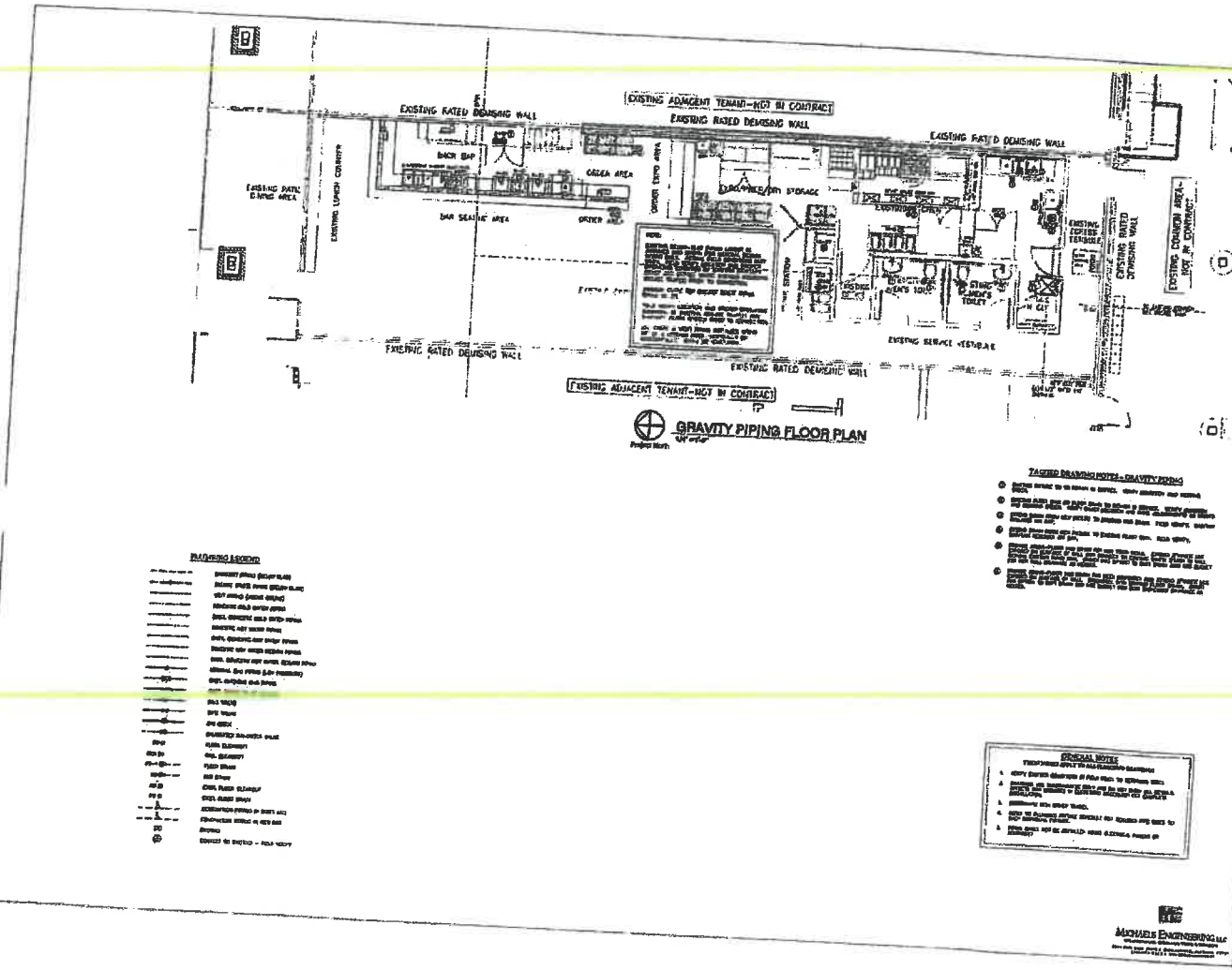


TELETYPE IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE WATERS BUILDING  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35203

CKH  
 Architects, P.C.  
 1000 12th Ave  
 Birmingham, Alabama 35204

ORIGINAL ISSUE DATE  
 08/13/2021  
 CONSTRUCTION SET

Sheet Number  
**P2.0**



GRAVITY PIPING FLOOR PLAN

- GENERAL NOTES**
- 1. EXISTING DEMISING WALLS TO REMAIN IN PLACE. NEW DEMISING WALLS TO BE SHOWN AS SUCH.
  - 2. EXISTING WALLS TO REMAIN AS SHOWN. NEW WALLS TO BE SHOWN AS SUCH.
  - 3. EXISTING FLOOR SLABS TO REMAIN IN PLACE. NEW FLOOR SLABS TO BE SHOWN AS SUCH.
  - 4. EXISTING ROOF SLABS TO REMAIN IN PLACE. NEW ROOF SLABS TO BE SHOWN AS SUCH.
  - 5. EXISTING CEILING TRUSSES TO REMAIN IN PLACE. NEW CEILING TRUSSES TO BE SHOWN AS SUCH.

- PLUMBING LEGEND**
- 1/2" CPVC WATER MAIN
  - 1/2" CPVC WATER SERVICE
  - 1/2" CPVC WATER BRANCH
  - 1/2" CPVC WATER RISER
  - 1/2" CPVC WATER DROP
  - 1/2" CPVC WATER TIE
  - 1/2" CPVC WATER VALVE
  - 1/2" CPVC WATER FITTING
  - 1/2" CPVC WATER FLANGE
  - 1/2" CPVC WATER END
  - 1/2" CPVC WATER TEE
  - 1/2" CPVC WATER ELBOW
  - 1/2" CPVC WATER SHORT
  - 1/2" CPVC WATER TAKEOFF
  - 1/2" CPVC WATER HANG OFF
  - 1/2" CPVC WATER HANG OFF END
  - 1/2" CPVC WATER HANG OFF TIE
  - 1/2" CPVC WATER HANG OFF VALVE
  - 1/2" CPVC WATER HANG OFF FITTING
  - 1/2" CPVC WATER HANG OFF FLANGE
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  - 1/2" CPVC WATER HANG OFF HANG OFF HANG OFF HANG OFF HANG OFF TAKEOFF

**GENERAL NOTES**

- 1. EXISTING DEMISING WALLS TO REMAIN IN PLACE. NEW DEMISING WALLS TO BE SHOWN AS SUCH.
- 2. EXISTING WALLS TO REMAIN AS SHOWN. NEW WALLS TO BE SHOWN AS SUCH.
- 3. EXISTING FLOOR SLABS TO REMAIN IN PLACE. NEW FLOOR SLABS TO BE SHOWN AS SUCH.
- 4. EXISTING ROOF SLABS TO REMAIN IN PLACE. NEW ROOF SLABS TO BE SHOWN AS SUCH.
- 5. EXISTING CEILING TRUSSES TO REMAIN IN PLACE. NEW CEILING TRUSSES TO BE SHOWN AS SUCH.

MICHAELS ENGINEERING LLC



**A NEW ENCORE ROUGE RESTAURANT**  
**AT THE WAITES BUILDING**  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35233

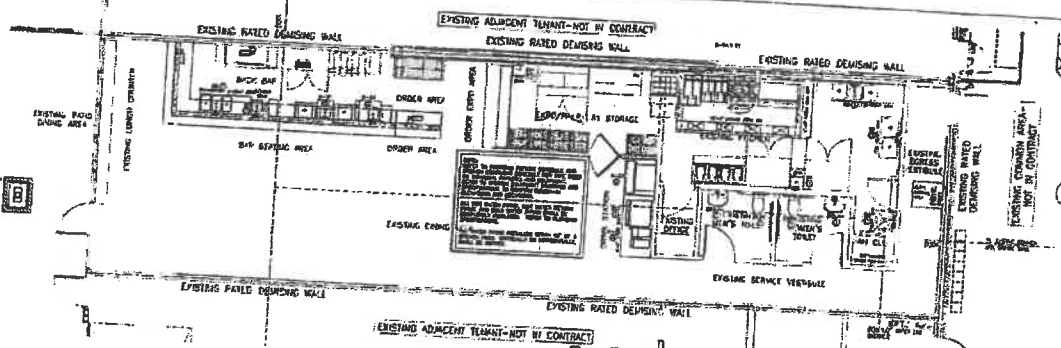
TERMINUS IMPROVEMENTS PACKAGE FOR

**CKH Architects, P.C.**  
 300 South Park  
 Birmingham, AL 35202

ORIGINAL ISSUE DATE  
**08/13/2021**  
 CCM/TC/STY/MSY

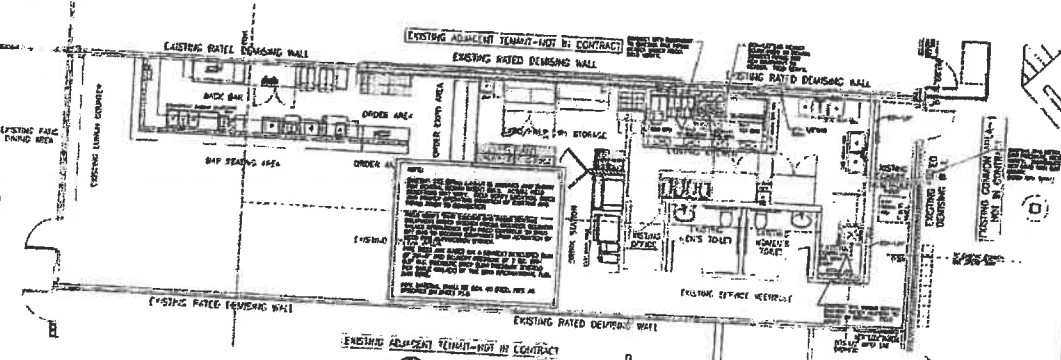
SHEET NUMBER  
**P3.0**

- LEGEND**
- EXISTING PLUMBING
  - EXISTING ELECTRICAL
  - EXISTING MECHANICAL
  - EXISTING PIPING
  - EXISTING STRUCTURE
  - EXISTING WALLS
  - EXISTING CEILING
  - EXISTING FLOOR
  - EXISTING ROOF
  - EXISTING EXTERIOR
  - EXISTING LANDSCAPE
  - EXISTING UTILITIES
  - EXISTING CONDUIT
  - EXISTING TRUNKING
  - EXISTING RACEWAYS
  - EXISTING TRAYS
  - EXISTING CHIMNEYS
  - EXISTING VENTS
  - EXISTING DUCTS
  - EXISTING EXHAUST
  - EXISTING RETURN
  - EXISTING SUPPLY
  - EXISTING BALANCE
  - EXISTING FILTER
  - EXISTING COIL
  - EXISTING MOTOR
  - EXISTING PUMP
  - EXISTING VALVE
  - EXISTING FITTING
  - EXISTING JOINT
  - EXISTING END
  - EXISTING OPENING
  - EXISTING PENETRATION
  - EXISTING CURB
  - EXISTING WALKWAY
  - EXISTING DRIVEWAY
  - EXISTING PARKING
  - EXISTING DRIVE
  - EXISTING SIDEWALK
  - EXISTING CURB
  - EXISTING GROUND
  - EXISTING ELEVATION



**PRESSURE PIPING FLOOR PLAN**  
 Proposed

- TARGET RESTAURANT PRESSURE PIPING**
- 1. VERIFY ALL EXISTING PRESSURE PIPING IS CORRECTLY IDENTIFIED AND LABELED.
  - 2. VERIFY ALL EXISTING PRESSURE PIPING IS IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
  - 3. VERIFY ALL EXISTING PRESSURE PIPING IS IN ACCORDANCE WITH ALL APPLICABLE MANUFACTURER'S INSTRUCTIONS.
  - 4. VERIFY ALL EXISTING PRESSURE PIPING IS IN ACCORDANCE WITH ALL APPLICABLE PROJECT REQUIREMENTS.



**GAS PIPING FLOOR PLAN**  
 Proposed

**NOTES:**

- 1. VERIFY ALL EXISTING GAS PIPING IS CORRECTLY IDENTIFIED AND LABELED.
- 2. VERIFY ALL EXISTING GAS PIPING IS IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 3. VERIFY ALL EXISTING GAS PIPING IS IN ACCORDANCE WITH ALL APPLICABLE MANUFACTURER'S INSTRUCTIONS.
- 4. VERIFY ALL EXISTING GAS PIPING IS IN ACCORDANCE WITH ALL APPLICABLE PROJECT REQUIREMENTS.

**MICHAEL ENGINEERING, LLC**  
 1000 S. RICHARDSON BLVD., SUITE 100  
 HOUSTON, TEXAS 77061









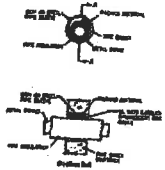
TENANTS IMPROVEMENTS PACKAGE FOR  
**A NEW ENCORE ROUGE RESTAURANT**  
 AT THE VAUTES BUILDING  
 707 RICHARD ARRINGTON BLVD, SUITE 102  
 BIRMINGHAM, AL 35233

**CKH**  
 Architects, P.C.  
 3000 24th Ave  
 Birmingham, Alabama 35203  
 205-988-8888  
 www.ckharchitects.com

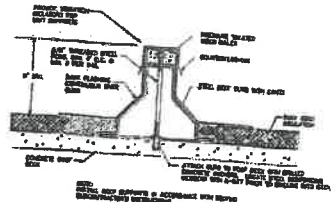
ORIGINAL ISSUE DATE  
**08/13/2021**  
 CONSTRUCTION SET

SHEET NUMBER  
**M3.0**

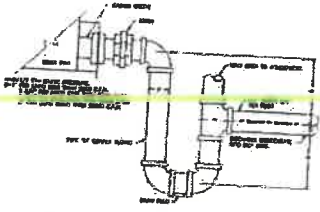
**MICHAELS ENGINEERING, LLC**  
 1000 20th Avenue North  
 Birmingham, Alabama 35203  
 205-988-8888  
 www.michaels-engineering.com



**FIRE WALL PIPE PENETRATION DETAIL**  
NO SCALE



**EQUIPMENT ROOF SUPPORT DETAIL**  
NO SCALE



**AIR CONDITIONING UNIT DRAIN TRAP DETAIL**  
NO SCALE



**KITCHEN EXHAUST HOOD DETAIL**  
EQUIPMENT TYPE  
NO SCALE

**PARCEL ID:** 012200364013003000

**SOURCE:** TAX ASSESSOR RECORDS      **TAX YEAR:** 2019

**DATE:** Thursday, October 14, 2021 8:56:26 AM

**OWNER:** CENTRAL CITY DEVELOPERS LLC

**ADDRESS:** 120 18TH ST S STE 201

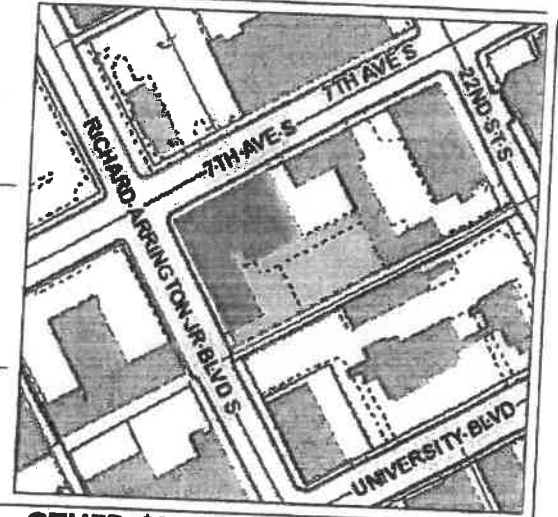
**CITY/STATE:** BIRMINGHAM AL

**ZIP+4:** 35233

**SITE ADDR:** 715 RICHARD ARRINGTON JR BLVD

**CITY/STATE:** BHAM, AL

**ZIP:** 35233



**LAND:** \$1,110,300.00

**BLDG:** \$12,178,000.00

**OTHER:** \$0.00

**AREA:** 34,379.69

**ACRES:** 0.79

**SUBDIVISION INFORMATION:**

**NAME** CENTRAL CITY SURVEY

**BLOCK:** 232

**LOT:** 6-C

**Section:** 36-17-3W

**Land Slide Zones:** Not in Land Slide Zones

**Historic Districts:** Not in Historic Districts

**Commercial Revitalization District:** Midtown

**Fire District:** In Fire District

**Flood Zones:** Not in Flood Zones

**Tax Increment Financing District:** In Tax Increment Financing District

**Neighborhoods:** Five Pts So (1701)

**Communities:** Southside (17)

**Council Districts:** District - 6 (Councilor: Crystal Smitherman)

**Zoning Outline:** M1

**Demolition Quadrants:** DEM Quadrant - 1

**Impaired Watersheds:** Not in Impaired Watersheds

**Strategic Opportunity Area:** Not in Strategic Opportunity Area

**RISE Focus Area:** In RISE Focus Area

**Tax Delinquent Property:** Not in Tax Delinquent Property

**EPA Superfund:** Not in EPA Superfund

**Opportunity Zones:** In Opportunity Zones

**Judicial Boundaries:** JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.

BM

# No Neighborhood Officers LICENSE STATUS REPORT FORM

Date: 12/1/2021

To: Latonya Tate, Chairman  
Public Safety

Subject: Applicant's Name GB License, LLC  
Business Name Go Puff  
Business Address 2720 7th Ave S

### Type of License & Description

- |   |   |
|---|---|
| <input type="checkbox"/> Lounge Retail Liquor Class I           | <input checked="" type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I                    | <input type="checkbox"/> Club Liquor Class II (Private)                           |
| <input type="checkbox"/> Beer Off Premise                       | <input type="checkbox"/> Beer On & Off Premise                                    |
| <input type="checkbox"/> Wine Off Premise                       | <input type="checkbox"/> Wine On & Off Premise                                    |
| <input type="checkbox"/> Restaurant Retail Liquor               | <input type="checkbox"/> Special Retail License (over 30 days)                    |
| <input type="checkbox"/> Special Retail License (under 30 days) | <input type="checkbox"/> Pool Table Permit  |
| <input type="checkbox"/> Division I Dance Permit (customers)    | <input type="checkbox"/> Division II Dance Permit                                 |

The Southside Neighborhood Association met on \_\_\_\_\_ and voted in reference to the above named license application. The concerns of the Neighborhood regarding the granting of this license are indicated as follows: (Please check one)

\_\_\_\_\_ Attendance    \_\_\_\_\_ Oppose    \_\_\_\_\_ Support    \_\_\_\_\_ No Recommendation

Reason for Opposition \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Applicant: \_\_\_\_\_ attended NA meeting    \_\_\_\_\_ did not attend NA meeting

\_\_\_\_\_  
President

(Please return this form to the of attention Latonya Tate /Public Safety; City of Birmingham; 710 North 20th Street, Birmingham, AL 35203; City Council Chambers; 3rd Floor) Failure to attend the neighborhood meeting may result in a delay in the liquor process.

**New Application: Lounge Retail Liquor – Class II – Type 011 (Package)**

The following applicant has applied to the City of Birmingham for an alcohol, dance or pool table license:

Name of Applicant: GB License, LLC  
Mailing Address: 537 N 3<sup>rd</sup> St  
Philadelphia, PA 19123  
Trade Name: Go Puff  
Location Address: 2720 7<sup>th</sup> Ave S  
Contact Number: (251)626-7704  
Contact Person: John Milledge

New Application       Transfer

**Type of License**

- |   |   |
|---|---|
| <input type="checkbox"/> Lounge Retail Liquor Class I                 | <input checked="" type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I (Fraternal)              | <input type="checkbox"/> Club Liquor Class II (Private)                           |
| <input type="checkbox"/> Beer Off Premise                             | <input type="checkbox"/> Beer On & Off Premise                                    |
| <input type="checkbox"/> Wine Off Premise                             | <input type="checkbox"/> Wine On & Off Premise                                    |
| <input type="checkbox"/> Restaurant Retail Liquor                     | <input type="checkbox"/> Special Retail Liquor (7 days or less)                   |
| <input type="checkbox"/> Special Retail Liquor (over 30 days)         | <input type="checkbox"/> Special Retail Liquor (under 30 days)                    |
| <input type="checkbox"/> Division I Dance Permit (customer)           | <input type="checkbox"/> Division II Dance Permit (entertainers)                  |
| <input type="checkbox"/> Pool Table Permit (send copy of application) |   |

Kitchen equipped: yes  no

Number of table and chairs NA

Date Applied: 12/1/2021

Revenue Examiner: GS

Copy: Fire Prevention  
Health Department  
Community Development  
Operation New Birmingham  
Melanie Genkin (pool tables)  
Katrina Thomas (PEP)

**City of Birmingham  
Application for  
Alcoholic Beverage License**

**New Application**   
**Transfer**

**LOUNGE RETAIL LIQUOR-CLASS II-TYPE 011(PACKAG** **By: GS**  
(Enter Type of License Applied For) (Revenue Official)

1. Name of Applicant (s) GB License, LLC  
(Indicate whether Individual, Partnership, Corporation, LLC, LLP, etc)
2. Name and address of individual applicant or all partners and members if partnership or assoc., or all officers and directors, if corporation  
(Attach separate sheet if necessary)

Social Security Number Drivers License Number Name of Owner, Officer or Partner	Title	Date of Birth Place of Birth	Present Residence Address	Length of Residence at Place Named
PADL # [REDACTED] Rafael Ilshayev	CEO	[REDACTED] Baku, Azerbaijan	1214 Chestnut St Unit 8 Philadelphia, PA 19107	
PADL # [REDACTED] Yakir Aaron Gola	President	[REDACTED] Voorhees, NJ	1214 Chestnut St Unit 1 Philadelphia, PA 19107	

Note: If a corporation, LLC or LLP, give place and date of incorporation or issuance of certificate of authority to do business in Alabama:

Book 842-577 Page: 1 of 2 Date: 3/24/2021 County: Montgomery  
Foreign Corporation: certificate of Authority Date:  (get copy of original papers)

3. Trade Name Gopuff
- 4(a) Location 2720 7<sup>th</sup> Ave S  
Exact Street Number, or if on Highway, give details as to Location  
Birmingham, Alabama Zip Code 35233 County  Jefferson  Shelby
- (b) Length of time at this location \_\_\_\_\_
- (c) Mailing Address: 537 N 3<sup>rd</sup> St Philadelphia, PA 19123
- (d) Business Phone \_\_\_\_\_ Fax: \_\_\_\_\_ Other Contact: (251)626-7704

5. Name, trade name and License number of last or previous licensee:  
Trade name \_\_\_\_\_ Year  Type \_\_\_\_\_ Taxpayer ID \_\_\_\_\_

6 (a) Owner of real estate for which license is desired The Barber Companies Inc  
27 Inverness Center Pkwy Birmingham, AL 35242  
Address

- (b) Give a full description of the premises for which a license is desired: New Construction  Existing Structure   
Description  1 Story Bldg
- (c) Is establishment equipped with tables and chairs? Yes  No  If "Yes", how many? \_\_\_\_\_

7. Has a liquor, malt or brewed beverage license for premises ever been denied, suspended or revoked?  Yes  No  
If "Yes", explain fully \_\_\_\_\_

- 8 (a) Pool Tables? Yes  No  Coin Operated? Yes  No  Standard Provider:  
(b) Video Games? Yes  No  Juke Box or Slot Musical Equipment? Yes  No   
(c) Vending Machines (Snacks/Sodas)? Yes  No  Cigarettes or Tobacco Products? Yes  No  Other?

9 (a) Will you allow dancing? Yes  No  If "Yes": Customer/Patron?  Div I Exhibition/Performance?  Div II  
(b) Independent Contract Employees (Disc Jockey, Band, Bartenders, Servers)? Yes  No

- 10 (a) Are these premises kitchen equipped? Yes  No  Not Applicable
- (b) Is kitchen apart from but convenient to the dining room? Yes  No
- (c) Is place of business habitually and principally used for providing food to the public? Yes  No
- (d) If not kitchen equipped, is any type of food served? Yes  No  If "Yes", explain \_\_\_\_\_
- (e) Are these premises equipped for on premises consumption of liquor? Yes  No
- (f) Will this business be operating primarily as a package store? Yes  No
- (g) Seating Capacity: \_\_\_\_\_
- (h) For a SPECIAL RETAIL LICENSE, less than thirty (30) days: Starting Date \_\_\_\_\_ Ending Date \_\_\_\_\_
- (i) For a SPECIAL RETAIL LICENSE, more than thirty (30) days: Starting Date \_\_\_\_\_ Ending Dec. 31, \_\_\_\_\_
- (j) For a SPECIAL EVENTS RETAIL LICENSE, not to exceed seven (7) days: Starting \_\_\_\_\_ Ending \_\_\_\_\_  
 (Note: Application must be filed 120 days in advance of event for which license is applied for)
- (k) Event Sponsor \_\_\_\_\_ Phone Number \_\_\_\_\_
- (1) Sponsor Letter of Designation? Yes  No
- (2) Multi-Vendor Sponsorship? Yes  No
- (3) Street Closing Required Yes  No
- (4) Park Board Permission Yes  No

- 11 (a) Does the club charge and collect dues from elected members? Yes  No
- (b) How many paid-up members are there in the club? \_\_\_\_\_
- (c) Are regular meetings held? Yes  No  If so, when? \_\_\_\_\_
- (d) Is business conducted through officers regularly elected? Yes  No
- (e) Are members admitted by written application, investigation, and ballot? Yes  No
- (f) For what purpose is the club organized and operated? Social  Patriotic  Political  Athletic  Other

12. List below the court records for law violations in the last ten (10) years, if any, of each person interested in this application, including the manager, whether as sole applicant, partner, officer, member, or landlord. (Do not include traffic violations, except D.U.I. and reckless driving. If no record, state "None".)

Name	Violation Charged	Name of Court	Date	Disposition of Case
<u>NA - Applicants</u>				

Applicant for the Alcoholic Beverage license requested by the aforementioned applicant hereby swears or affirms that he or she has read said application and that all the statements therein and the facts set forth therein are true and correct, and that the applicant is the only person interested in the business for which said license is requested.

Sworn and subscribed before me this 1<sup>st</sup> day of December, 2021

[Signature]  
Signature of Affiant

[Signature]  
Signature of Revenue Official

This application will not be processed until all fees due at the time of application are paid and receipts are on file.

gabrenda, inc.  
327 N. 3rd St.  
Pittsburgh, PA  
15222

PROJECT # 098-01 FACILITY # 28

Mohr, AL  
216 Dauphin St., Mohr, AL 36602

REVISIONS

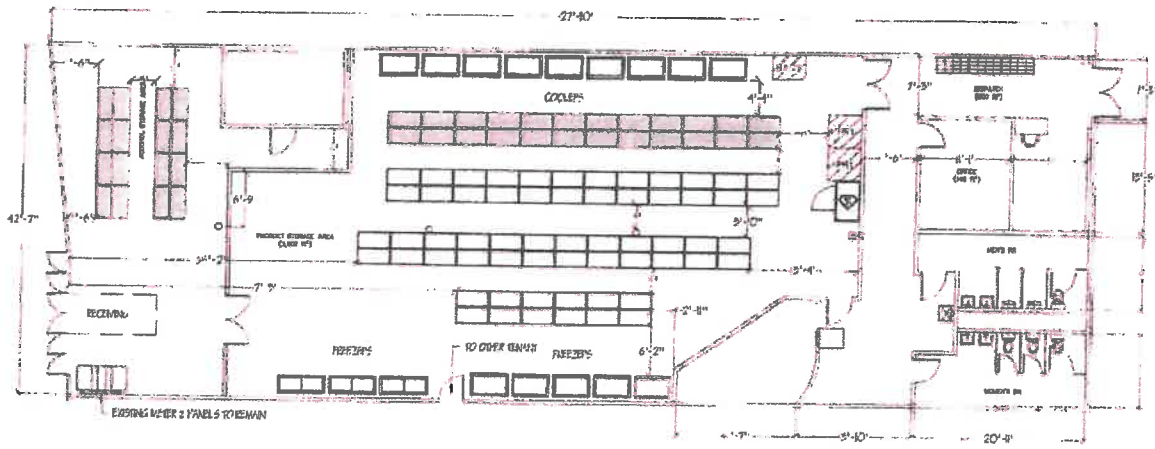
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HJE

CHECKED BY  
HJA

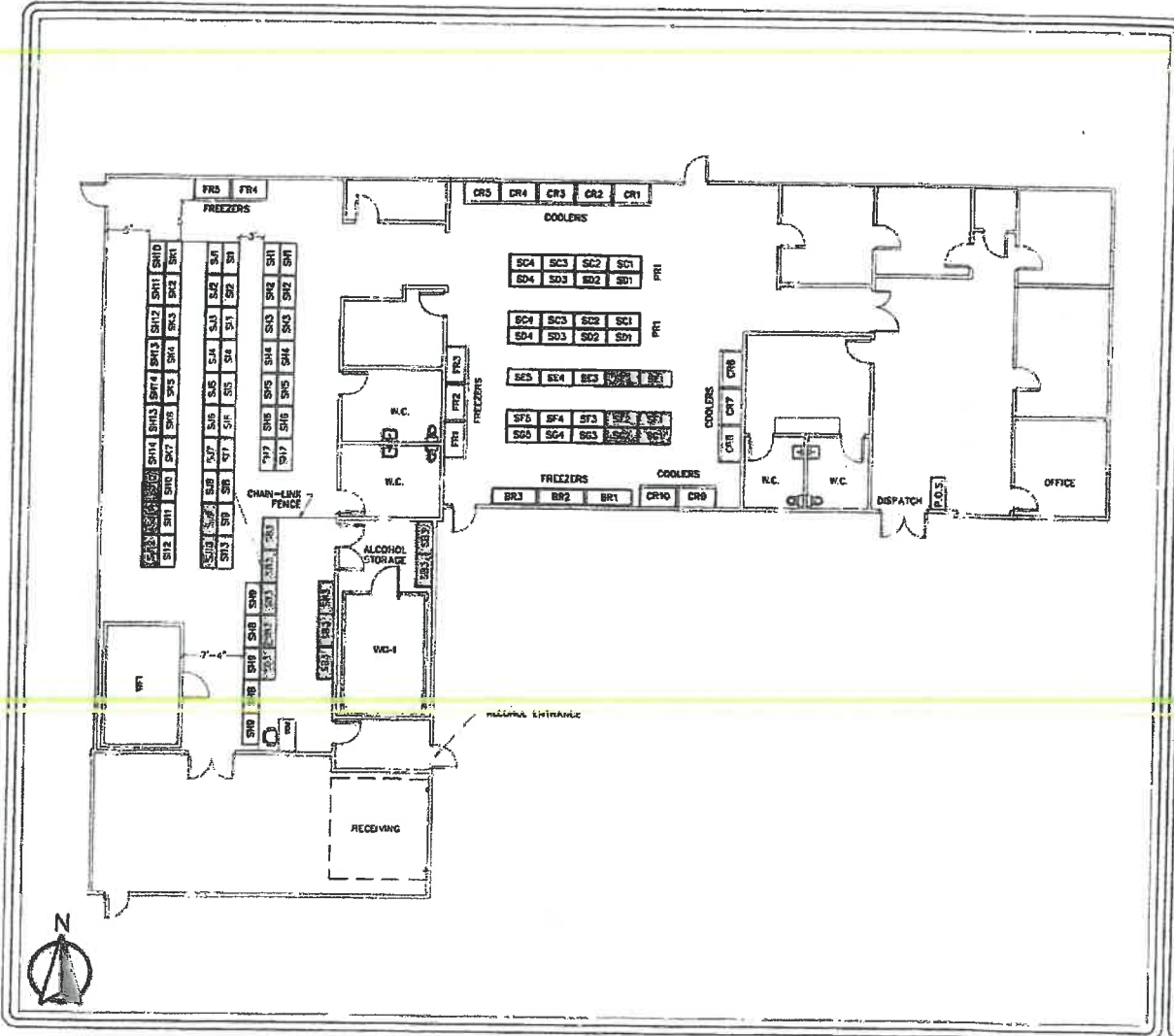
SCALE  
3/32" = 1'-0"

TITLE  
Floor Plan

SHEET #  
A-1.03







goBrand, Inc.  
HQ:  
537 North 3rd  
Street,  
Philadelphia, PA  
19123

goBrand, Inc.  
Montgomery  
827 S Decatur St,  
Montgomery,  
AL 36104

Date:	
Revisions:	

Drawn By: NS

Date Drawn: 2/25/21

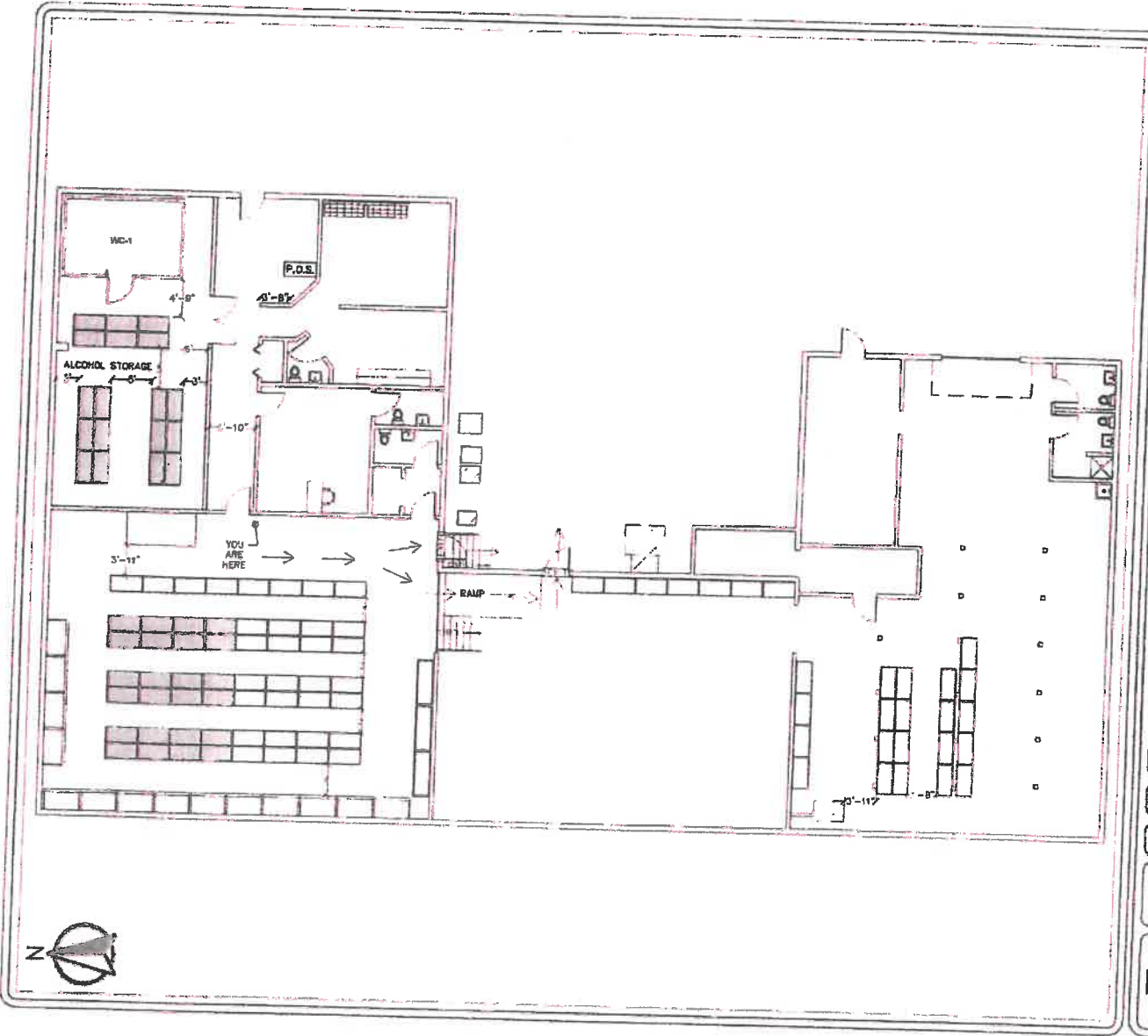
Approved By: MB

Date Approved: 2/25/21

Scale: 1/8"=1'-0"

Floor Plan

A-1.02



goBrand, Inc.  
HQ:  
537 North 3rd  
Street,  
Philadelphia, PA  
19123

goBrand, Inc.  
Huntsville - Decatur  
AL  
1317 Virginia Blvd,  
Bldg 2, 35801

Date:

Revisions:

Drawn By:  
Jack Mossman

Date Drawn:  
11/12/19

Approved By:  
Mario Bleke

Date Approved:  
11/12/19

Scale:  
1" = 1'

Floor  
Plan

I-1.02

goBrand, Inc.  
HQ  
637 North 3rd  
Street,  
Philadelphia, PA  
19123

goBrand, Inc.  
Huntsville - Decatur  
AL  
1317 Virginia Blvd.  
Bldg 2, 35901

Date:

Revision:

Drawn By:

Date Drawn:  
11/12/19

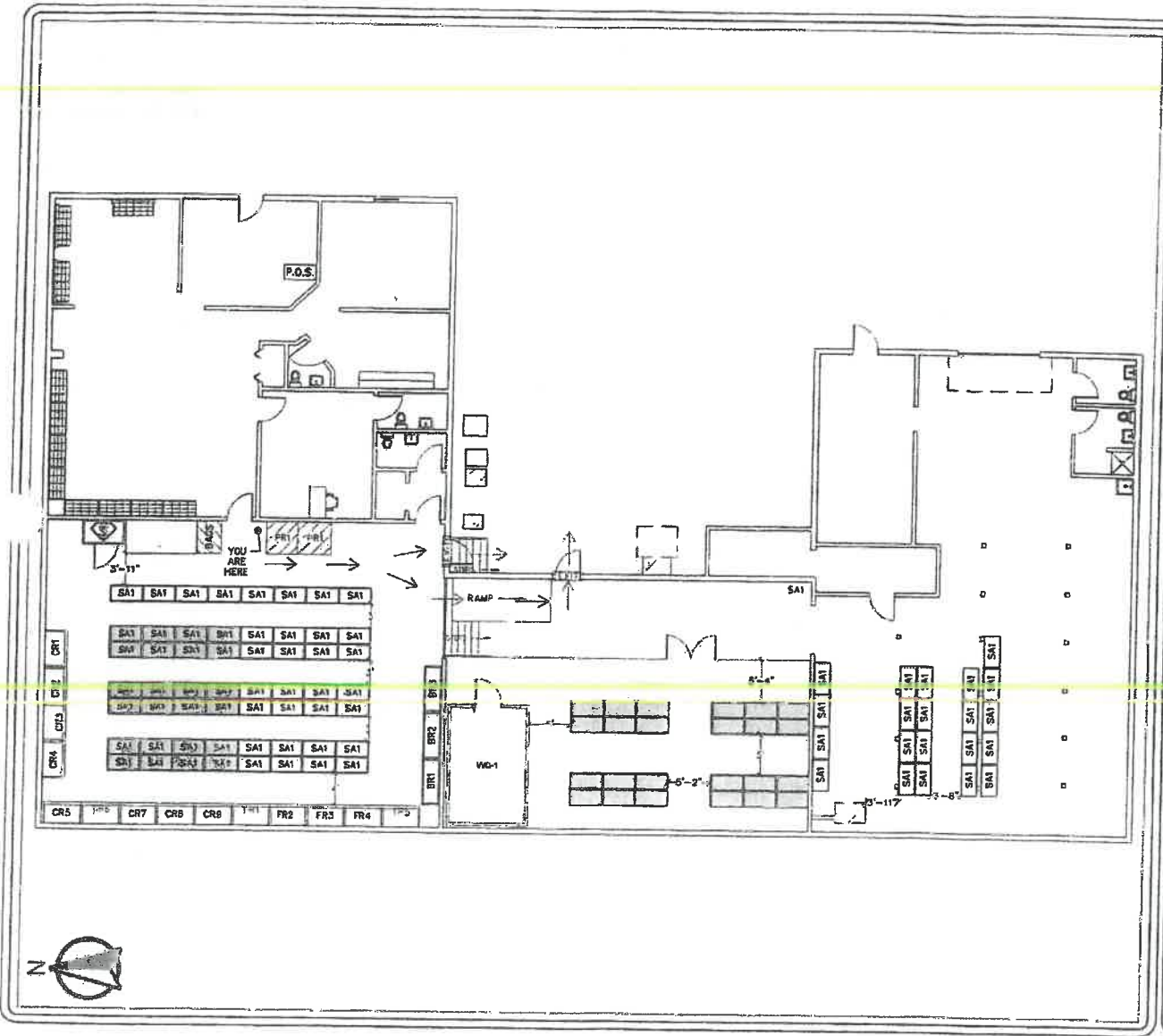
Approved By:  
Maria Blate

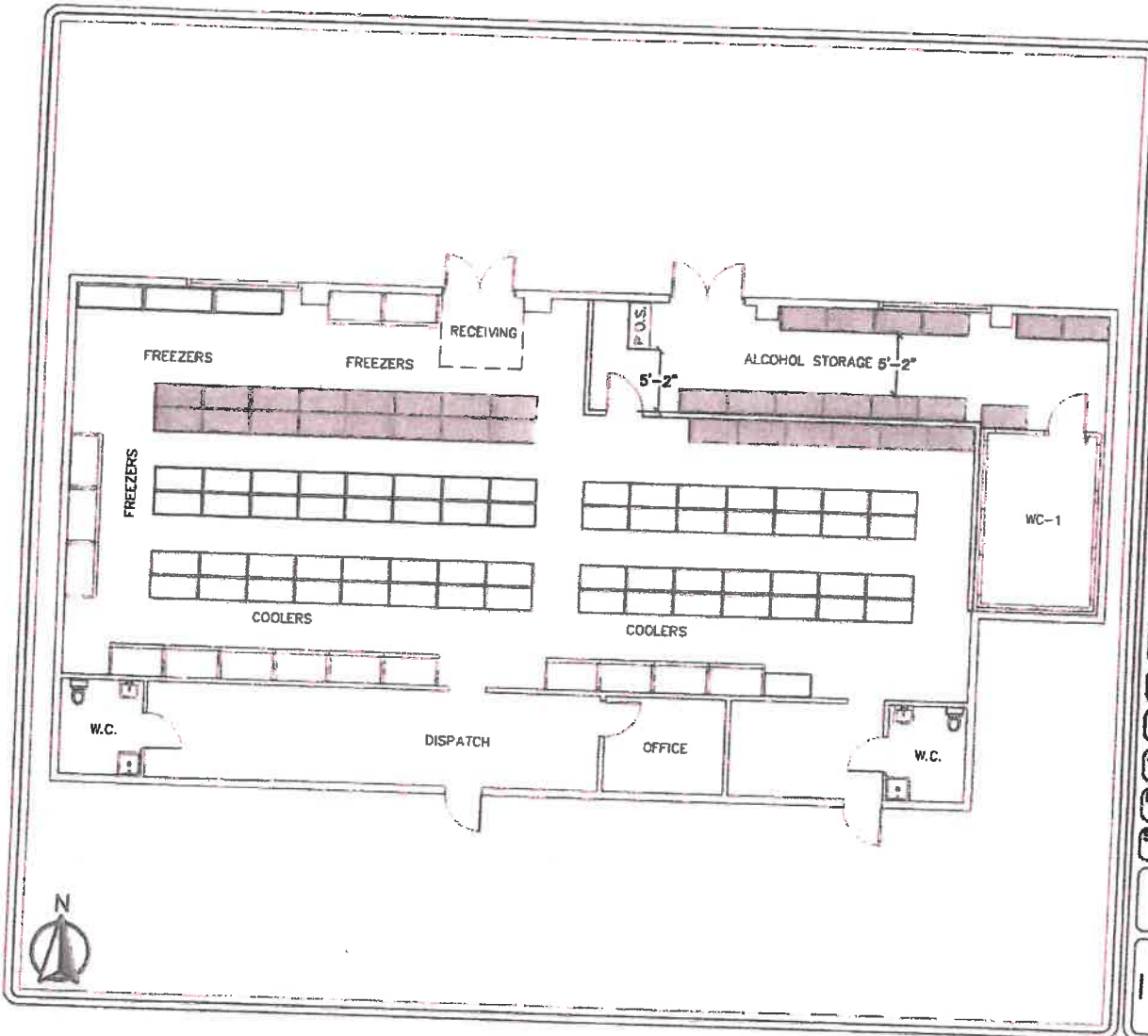
Date Approved:  
11/12/19

Scale:  
1/8" = 1'

Floor  
Plan

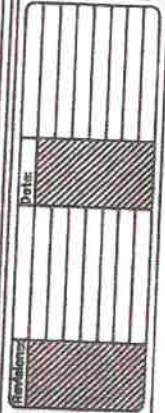
I-1.02





goBrand, Inc.  
 HQ  
 537 North 3rd  
 Street,  
 Philadelphia, PA  
 19123

goBrand, Inc.  
 Tuscaloosa  
 3127 Stillman Blvd  
 Tuscaloosa, AL  
 35406



Drawn By:  
 JAP

Date Drawn:  
 05/04/21

Approved By:

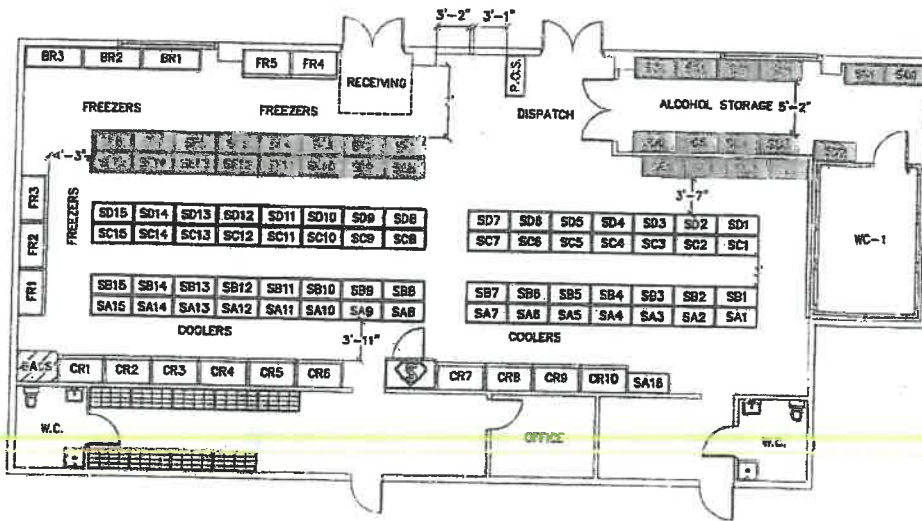
Date Approved:  
 n/a

Scale:  
 1/8" = 1'-0"

Floor  
 Plan

I-1.02

goPuff  
Tuscaloosa  
3127 Siltman  
Blvd, Tuscaloosa,  
Al 35406



Drawn By:  
DC

Date Drawn:  
4/20/21

Approved By:  
MP

Date Approved:

Scale:  
1/2"=1'-0"

Launch  
Plan

I-1.03

goBrands, Inc.  
 HQ:  
 537 North 3rd  
 Street,  
 Philadelphia, PA  
 19123

goBrand, Inc.  
 Birmingham  
 2720 7th Ave S,  
 Birmingham, AL  
 35233

Date:

Drawn By:

Erin Smed

Date Drawn:

08/23/2019

Approved By:

Maria Siatek

Date Approved:

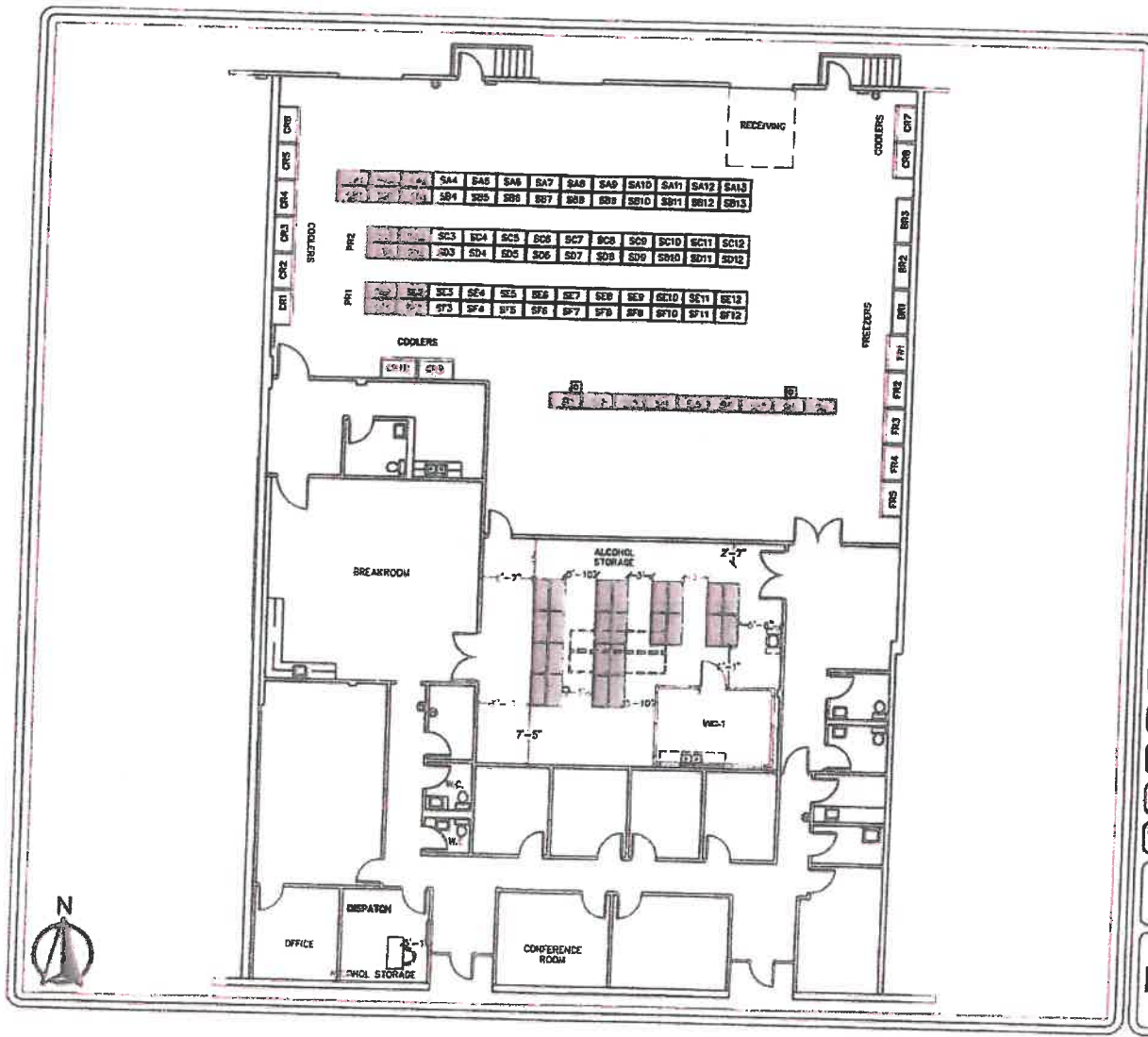
n/s

Scale:

3/8"=1'-0"

Floor Plan

I-1.02



gotbrands, Inc.  
837 N. 9th St.  
Pittsburgh, PA  
15212

PROJECT #127-01 FACILITY #86

Alabama, AL  
22202 Parkway Ave, Adam, AL, 36692

REVISIONS

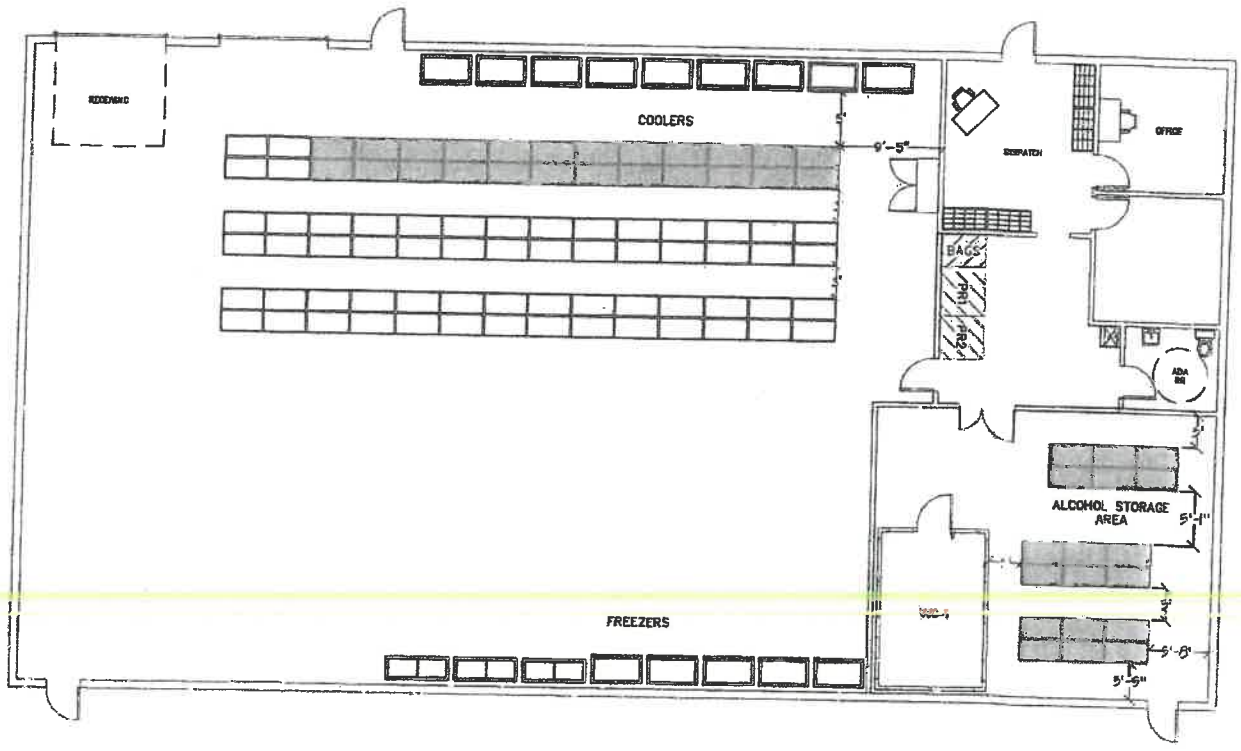
DESIGNED BY  
M.J.E.

CHECKED BY  
HM

SCALE  
1/8" = 1'-0"

TITLE  
Floor Plan

SHEET #  
A-1.03



**PARCEL ID:** 012300313008003700

**SOURCE:** TAX ASSESSOR RECORDS      **TAX YEAR:** 0

**DATE:** Monday, August 23, 2021 3:15:05 PM

**OWNER:** [REDACTED]

**ADDRESS:**

**CITY/STATE:**

**ZIP+4:** Control Script failed for control TextBox16 , Source=ZIPF

**SITE ADDR:**

**CITY/STATE:** , AL

**ZIP:**

**LAND:** \$0.00

**BLDG:** \$0.00

**OTHER:** \$0.00

**AREA:** 9,030.44

**ACRES:** 0.21

**SUBDIVISION INFORMATION:**

**NAME**

**BLOCK:**

**LOT:**

:

**Section:** 31-17-2W

**Land Slide Zones:** Not in Land Slide Zones

**Historic Districts:** Southside

**Commercial Revitalization District:** Lakeview

**Fire District:** Not in Fire District

**Flood Zones:** Not in Flood Zones

**Tax Increment Financing District:** Not in Tax Increment Financing District

**Neighborhoods:** Southside (1703)

**Communities:** Southside (17)

**Council Districts:** District - 5 (Councilor: Darrell O'Quinn)

**Zoning Outline:** B2

**Demolition Quadrants:** DEM Quadrant - 3

**Impaired Watersheds:** Not in Impaired Watersheds

**Strategic Opportunity Area:** Not in Strategic Opportunity Area

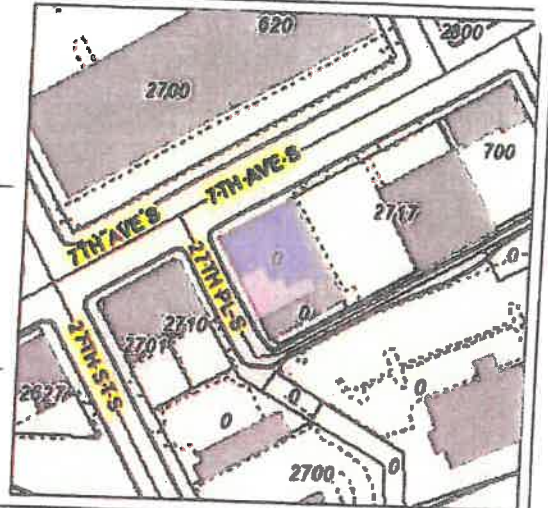
**RISE Focus Area:** In RISE Focus Area

**Tax Delinquent Property:** Not in Tax Delinquent Property

**EPA Superfund:** Not in EPA Superfund

**Opportunity Zones:** Not in Opportunity Zones

**Judicial Boundaries:** JEFFERSON



Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



# LICENSE STATUS REPORT FORM

Date: **12/1/2021**

To: Latonya Tate, Chairman  
Public Safety

Subject: Applicant's Name West Hill Ranch Group LLC  
Business Name Mountain Express Oil  
Business Address 901 Bankhead Hwy W

### Type of License & Description

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I           | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I                    | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input checked="" type="checkbox"/> Beer Off Premise            | <input type="checkbox"/> Beer On & Off Premise                         |
| <input checked="" type="checkbox"/> Wine Off Premise            | <input type="checkbox"/> Wine On & Off Premise                         |
| <input type="checkbox"/> Restaurant Retail Liquor               | <input type="checkbox"/> Special Retail License (over 30 days)         |
| <input type="checkbox"/> Special Retail License (under 30 days) | <input type="checkbox"/> Pool Table Permit                             |
| <input type="checkbox"/> Division I Dance Permit (customers)    | <input type="checkbox"/> Division II Dance Permit                      |

The Thomas Neighborhood Association met on 01-04-22 and voted in reference to the above named license application. The concerns of the Neighborhood regarding the granting of this license are indicated as follows: (Please check one)

5 Attendance      \_\_\_\_\_ Oppose      Support      \_\_\_\_\_ No Recommendation

Reason for Opposition \_\_\_\_\_

Applicant:  attended NA meeting      \_\_\_\_\_ did not attend NA meeting

Nancy Dawson  
President

(Please return this form to the of attention Latonya Tate /Public Safety; City of Birmingham; 710 North 20<sup>th</sup> Street, Birmingham, AL 35203; City Council Chambers; 3<sup>rd</sup> Floor) Failure to attend the neighborhood meeting may result in a delay in the liquor process.

**Transfer Application: Beer-Type 050/Wine-Type 070( Off Premise)**

The following applicant has applied to the City of Birmingham for an alcohol, dance or pool table license:

Name of Applicant: West Hill Ranch Group LLC  
Mailing Address: 901 Bankhead Hwy W  
Birmingham, AL 35204  
Trade Name: Mountain Express Oil  
Location Address: 901 Bankhead Hwy W  
Contact Number: (251)626-7704 Contact Person:  
John Millledge

New Application  Transfer

**Type of License**

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I                 | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I (Fraternal)              | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input checked="" type="checkbox"/> Beer Off Premise                  | <input type="checkbox"/> Beer On & Off Premise                         |
| <input checked="" type="checkbox"/> Wine Off Premise                  | <input type="checkbox"/> Wine On & Off Premise                         |
| <input type="checkbox"/> Restaurant Retail Liquor                     | <input type="checkbox"/> Special Retail Liquor (7 days or less)        |
| <input type="checkbox"/> Special Retail Liquor (over 30 days)         | <input type="checkbox"/> Special Retail Liquor (under 30 days)         |
| <input type="checkbox"/> Division I Dance Permit (customer)           | <input type="checkbox"/> Division II Dance Permit (entertainers)       |
| <input type="checkbox"/> Pool Table Permit (send copy of application) |  |

Kitchen equipped: yes  no

Number of table and chairs NA

Date Applied: 12/1/2021

Revenue Examiner: GS

Copy: Fire Prevention  
Health Department  
Community Development  
Operation New Birmingham  
Melanie Genkin (pool tables)  
Katrina Thomas (PEP)

**City of Birmingham  
Application for  
Alcoholic Beverage License**

**New Application**   
**Transfer**

**BEER-TYPE 050/WINE-TYPE 070(OFF PREMISE ONLY)**

By: **GS**

(Enter Type of License Applied For)

(Revenue Official)

1. Name of Applicant (s) West Hill Ranch Group LLC  
(Indicate whether Individual, Partnership, Corporation, LLC, LLP, etc)
2. Name and address of individual applicant or all partners and members if partnership or assoc., or all officers and directors, if corporation  
(Attach separate sheet if necessary)

Social Security Number Drivers License Number Name of Owner, Officer or Partner	Title	Date of Birth Place of Birth	Present Residence Address	Length of Residence at Place Named
NHDL# [REDACTED] Chase Reynolds Begor	Member	[REDACTED] Singapore	68 Woodland Rd Sunapee, NH 03782	

Note: If a corporation, LLC or LLP, give place and date of incorporation or issuance of certificate of authority to do business in Alabama:

Book 895-046 Page: 1 of 3 Date: 09/02/2021 County: Montgomery  
Foreign Corporation: certificate of Authority Date:  (get copy of original papers)

3. Trade Name Mountain Express Oil
- 4(a) Location 901 Bankhead Hwy W  
Exact Street Number, or if on Highway, give details as to Location  
Birmingham, Alabama Zip Code 35204 County  Jefferson  Shelby
- (b) Length of time at this location \_\_\_\_\_
- (c) Mailing Address: 901 Bankhead Hwy W Birmingham, AL 35204
- (d) Business Phone \_\_\_\_\_ Fax: \_\_\_\_\_ Other Contact: (251)626-7704
5. Name, trade name and License number of last or previous licensee: PFJ Southeast LLC  
Trade name Pilot Travel Center #369 Year 2017 Type 150k 150n Taxpayer ID 392352

- 6 (a) Owner of real estate for which license is desired Mountain Express Oil Company  
5333 Bells Ferry Rd Ste 201 Acworth, GA 30102 Address \_\_\_\_\_
- (b) Give a full description of the premises for which a license is desired: New Construction  Existing Structure   
Description  1 Story Bldg
- (c) Is establishment equipped with tables and chairs? Yes  No  If "Yes", how many? \_\_\_\_\_
7. Has a liquor, malt or brewed beverage license for premises ever been denied, suspended or revoked?  Yes  No  
If "Yes", explain fully \_\_\_\_\_
- 8 (a) Pool Tables? Yes  No  Coin Operated? Yes  No  Standard Provider:  
(b) Video Games? Yes  No  Juke Box or Slot Musical Equipment? Yes  No   
(c) Vending Machines (Snacks/Sodas)? Yes  No  Cigarettes or Tobacco Products? Yes  No  Other? \_\_\_\_\_
- 9 (a) Will you allow dancing? Yes  No  If "Yes": Customer/Patron?  Div I Exhibition/Performance?  Div II  
(b) Independent Contract Employees (Disc Jockey, Band, Bartenders, Servers)? Yes  No

- 10 (a) Are these premises kitchen equipped? Yes  No  Not Applicable
- (b) Is kitchen apart from but convenient to the dining room? Yes  No
- (c) Is place of business habitually and principally used for providing food to the public? Yes  No
- (d) If not kitchen equipped, is any type of food served? Yes  No  If "Yes", explain Grocery Items
- (e) Are these premises equipped for on premises consumption of liquor? Yes  No
- (f) Will this business be operating primarily as a package store? Yes  No
- (g) Seating Capacity: \_\_\_\_\_
- (h) For a SPECIAL RETAIL LICENSE, less than thirty (30) days: Starting Date \_\_\_\_\_ Ending Date \_\_\_\_\_
- (i) For a SPECIAL RETAIL LICENSE, more than thirty (30) days: Starting Date \_\_\_\_\_ Ending Dec. 31, \_\_\_\_\_
- (j) For a SPECIAL EVENTS RETAIL LICENSE, not to exceed seven (7) days: Starting \_\_\_\_\_ Ending \_\_\_\_\_  
 (Note: Application must be filed 120 days in advance of event for which license is applied for)
- (k) Event Sponsor \_\_\_\_\_ Phone Number \_\_\_\_\_
- (1) Sponsor Letter of Designation? Yes  No
- (2) Multi-Vendor Sponsorship? Yes  No
- (3) Street Closing Required Yes  No
- (4) Park Board Permission Yes  No

- 11 (a) Does the club charge and collect dues from elected members? Yes  No
- (b) How many paid-up members are there in the club? \_\_\_\_\_
- (c) Are regular meetings held? Yes  No  If so, when? \_\_\_\_\_
- (d) Is business conducted through officers regularly elected? Yes  No
- (e) Are members admitted by written application, investigation, and ballot? Yes  No
- (f) For what purpose is the club organized and operated? Social  Patriotic  Political  Athletic  Other

12. List below the court records for law violations in the last ten (10) years, if any, of each person interested in this application, including the manager, whether as sole applicant, partner, officer, member, or landlord. (Do not include traffic violations, except D.U.I. and reckless driving. If no record, state "None".)

Name	Violation Charged	Name of Court	Date	Disposition of Case
ND - Applicant				

Applicant for the Alcoholic Beverage license requested by the aforementioned applicant hereby swears or affirms that he or she has read said application and that all the statements therein and the facts set forth therein are true and correct, and that the applicant is the only person interested in the business for which said license is requested.

Sworn and subscribed before me this 1<sup>st</sup> day of December, 20 21

[Signature]  
 Signature of Affiant

[Signature]  
 Signature of Revenue Official

This application will not be processed until all fees due at the time of application are paid and receipts are on file.

**TRANSFER OF CITY OF BIRMINGHAM BUSINESS LICENSE**  
**(CONTROLLED)**

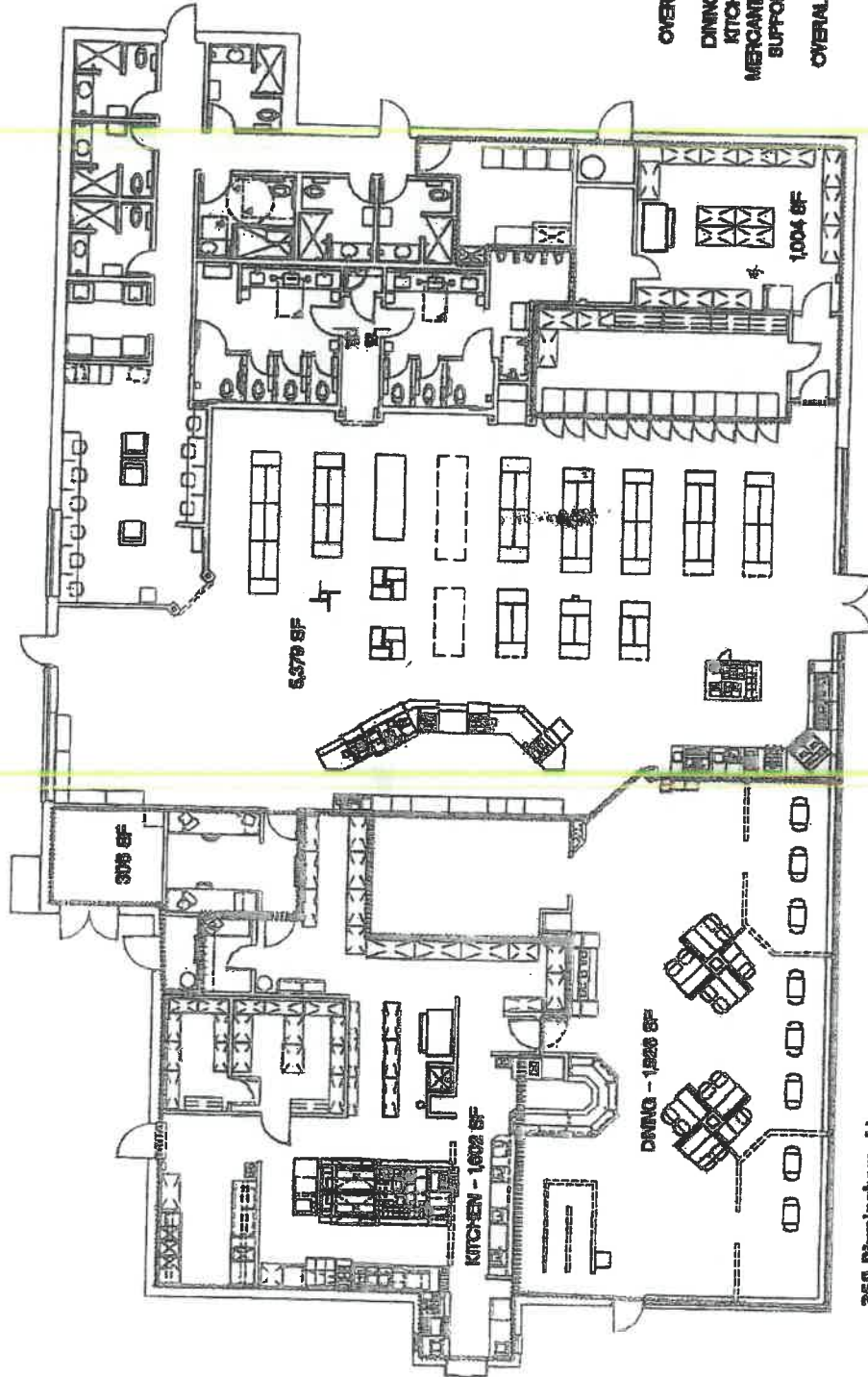
I, P.F.J. Southeast LLC (current taxpayer), holding City of Birmingham License ID# [REDACTED] (sub-digit City ID), located at 901 Brookhead Hwy W (business address) Birmingham, AL 35204, hereby agree that said License be transferred to West Hill Ranch Group LLC (applicant) provided West Hill Ranch Group LLC (applicant) obtains approval from the local governing body and meets all the requirements of the ABC Board. I understand that I am responsible for the operation of this licensed establishment and for all taxes due until West Hill Ranch Group LLC (applicant) obtains his/her license from the ABC Board.

I also understand that if for any reason this transfer is not approved by the local governing body or the ABC Board, I must take over complete control, operation, and responsibility of these licensed premises. If I do not continue operating this licensed establishment, then, I will turn in my ABC Board License to the local ABC Board Field Office and all my City of Birmingham licenses to the Revenue Division of the Finance Department of the City of Birmingham.

I further understand that this license will not be transferred until all taxes and licenses are paid and current.

LICENSEE [Signature] (POA)  
APPLICANT [Signature] (POA)  
WITNESS [Signature]  
NOTARY [Signature]

DATE 12-1-2021  
DATE 12-1-2021  
DATE 12-1-2021



OVERALL SF -- 10,217 SF  
 DINING - 1,526 SF/75 - 28  
 KITCHEN - 1,602/200 - 6  
 MERCANTILE - 5,579 SF/30 - 179  
 SUPPORT - 1,510 SF/100 - 4  
 OVERALL OCCUPANCY - 919

369-Birmingham, AL



**PARCEL ID:** 012200281008001000

**SOURCE:** TAX ASSESSOR RECORDS      **TAX YEAR:** 2021

**DATE:** Monday, November 22, 2021 10:41:42 AM

**OWNER:** PFI SOUTHEAST LLC Mountain Express Oil CO

**ADDRESS:** P O BOX 54710

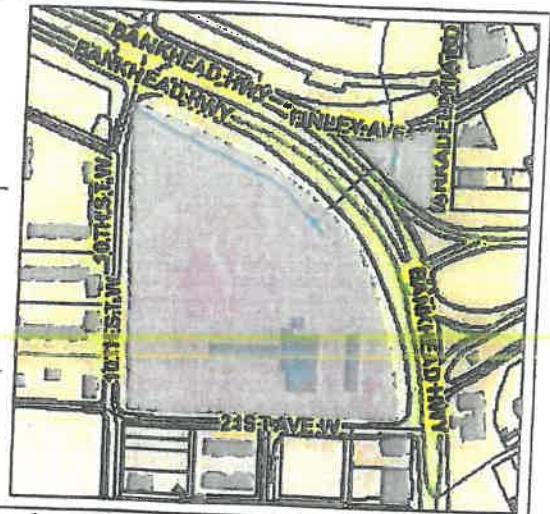
**CITY/STATE:** LEXINGTON KY

**ZIP+4:** 40555

**SITE ADDR:** 901 BANKHEAD HWY W

**CITY/STATE:** BHAM, AL

**ZIP:** 35204



**LAND:** \$725,300.00

**BLDG:** \$1,749,900.00

**OTHER:** \$0.00

**AREA:** 324,031.36

**ACRES:** 7.44

**SUBDIVISION INFORMATION:**

**NAME**

**BLOCK:**

**LOT:**

**Section:** 28-17-3W

**Land Slide Zones:** Not in Land Slide Zones

**Historic Districts:** Not in Historic Districts

**Commercial Revitalization District:** Not in Commercial Revitalization District

**Fire District:** Not in Fire District

**Flood Zones:** In Flood Zones

**Tax Increment Financing District:** Not in Tax Increment Financing District

**Neighborhoods:** Thomas (1306)

**Communities:** Pratt (13)

**Council Districts:** District - 8 (Councilor: Carol Clarke); District - 9 (Councilor: LaTonya Tate)

**Zoning Outline:** CB2; QM1

**Demolition Quadrants:** DEM Quadrant - 2

**Impaired Watersheds:** Impaired Watershed - Upper Village Creek

**Strategic Opportunity Area:** Not in Strategic Opportunity Area

**RISE Focus Area:** In RISE Focus Area

**Tax Delinquent Property:** Not in Tax Delinquent Property

**EPA Superfund:** Not in EPA Superfund

**Opportunity Zones:** In Opportunity Zones

**Judicial Boundaries:** JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the date and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



# LICENSE STATUS REPORT FORM

Date: **10/28/21**

To: Hunter Williams, Chairman  
Public Safety

Subject: Applicant's Name 3rd & 25 Investments LLC  
Business Name P4L FoodMart  
Business Address 3016 Winewood Rd

### Type of License & Description

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I           | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I                    | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input checked="" type="checkbox"/> Beer Off Premise            | <input type="checkbox"/> Beer On & Off Premise                         |
| <input checked="" type="checkbox"/> Wine Off Premise            | <input type="checkbox"/> Wine On & Off Premise                         |
| <input type="checkbox"/> Restaurant Retail Liquor               | <input type="checkbox"/> Special Retail License (over 30 days)         |
| <input type="checkbox"/> Special Retail License (under 30 days) | <input type="checkbox"/> Pool Table Permit                             |
| <input type="checkbox"/> Division I Dance Permit (customers)    | <input type="checkbox"/> Division II Dance Permit                      |

The Echo Highlands Neighborhood Association met on 11/4/21 and voted in reference to the above named license application. The concerns of the Neighborhood regarding the granting of this license are indicated as follows: (Please check one)

24 Attendance    1 Oppose    23 Support         No Recommendation

Reason for Opposition There was some concern about recapture devices at the station. Mr. Thuker did send emails the following day to show

devices on gas pumps. There were some concerns about police reports and Mr. Thuker

Applicant:  said he would come back to a future meeting to discuss security attended NA meeting     did not attend NA meeting

  
President

(Please return this form to the of attention Hunter Williams /Public Safety; City of Birmingham; 710 North 20<sup>th</sup> Street, Birmingham, AL 35203; City Council Chambers; 3<sup>rd</sup> Floor) Failure to attend the neighborhood meeting may result in a delay in the liquor process.



# FIRE INSPECTION REPORT

## BIRMINGHAM FIRE AND RESCUE SERVICE DEPARTMENT

FIRE PREVENTION DIVISION

317 1/2 15th STREET NORTH

BIRMINGHAM, AL 35203

PHONE NO. 205-250-7540 FAX NO. 205-250-7543

SUNPRO #: 033826

DATE: <u>11/8/20</u>	TIME: _____	RECHECK OF INSPECTION ON: _____ (date)	Page 1 of <u>1</u>
COMPANY NAME: <u>Pate Courtmart</u>	OCCUPANCY/USE: <u>13</u>		
ADDRESS: <u>3000 Winwood Rd</u>	BUSINESS LIC #:	PHONE: <u>205 742 284</u>	
CONTACT: _____	INSPECTOR: <u>J. D. [Signature]</u>		

### FIRE CODE/LIFE SAFETY

- | YES                                 | NO                       | N/A                                 |  |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 01. Is the available number of exits adequate and properly arranged? _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 02. Are corridor/aisle/stairways clear and unobstructed? _____             |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 03. Are exit doors equipped with approved hardware? _____                  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 04. Do exit doors swing in the direction of egress travel? _____           |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 05. Is the illumination of exits adequate? _____                           |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 06. Are exit and directional signs provided and maintained? _____          |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 07. Is emergency lighting provided, maintained and tested? _____           |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 08. Are vertical openings protected? _____                                 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 09. Is the integrity of rated corridors maintained? _____                  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 10. Is interior wall finish and ceiling finish adequate? _____             |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 11. Is separation from high hazard areas maintained? _____                 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | 12. Are combustible materials stored properly? _____                       |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | 13. Is address visible and properly posted? _____                          |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 14. Are fire dampers provided, maintained and tested properly? _____       |

HIGH RISE: Y N WINDOWLESS BLDG: Y N

### COMMON FIRE HAZARDS

- | YES                                 | NO                       | N/A                      |   |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 15. Are junction boxes and receptacle outlets covered? _____                |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16. Is permanent wiring used throughout? _____                              |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17. Does Electrical equipment appear to be in good condition? _____         |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18. Is there proper clearance between heating unit and combustibles? _____  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 19. Are there "No Smoking" signs posted where needed? _____                 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 20. Does the facility maintain good housekeeping, including exterior? _____ |

### SMOKE DETECTORS

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 21. Are smoke detectors installed and maintained? _____ |
|--------------------------|--------------------------|--------------------------|---|

### FIRE EXTINGUISHERS

- |                                     |                          |                          |   |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 22. Are extinguishers accessible and mounted properly? _____              |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 23. Are extinguishers inspected and serviced? _____<br>Date: <u>11/20</u> |

### GENERATORS

- |                          |                          |                                     |   |
|--------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 24. Is an emergency generator provided? _____             |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 25. Is it tested, maintained and serviced properly? _____ |

FIRE ALARM/SUPPRESSION SYSTEMS: See Page 2 \_\_\_\_\_

SPECIAL FIRE HAZARDS: See Page 2 \_\_\_\_\_

### ADDITIONAL REMARKS:

All previous violations were corrected.

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RECHECK DATE: \_\_\_\_\_

Contact's Signature: [Signature]  
(Signature is to verify inspection was conducted, and it is not an admission of liability.)

Inspector's Signature: [Signature]

COMPLETION OF THIS REPORT DOES NOT ENSURE THAT ALL VIOLATIONS/HAZARDS HAVE BEEN IDENTIFIED AND NOTED.

DISTRIBUTION: WHITE - Fire Prevention Division YELLOW - Occupant/Business Representative

**Transfer Application: Beer-Type 050/ Wine-Type 070 (Off Premise Only)**

The following applicant has applied to the City of Birmingham for an alcohol, dance or pool table license:

Name of Applicant: 3<sup>rd</sup> & 25 Investments LLC  
Mailing Address: 807 Royal Oaks DR  
Birmingham, AL 35244  
Trade Name: P4L FoodMart  
Location Address: 3016 Winewood Rd  
Contact Number: (205)942-0814  
Contact Person: Joshua Thuku

New Application  Transfer

Type of License

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I                 | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I (Fraternal)              | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input checked="" type="checkbox"/> Beer Off Premise                  | <input type="checkbox"/> Beer On & Off Premise                         |
| <input checked="" type="checkbox"/> Wine Off Premise                  | <input type="checkbox"/> Wine On & Off Premise                         |
| <input type="checkbox"/> Restaurant Retail Liquor                     | <input type="checkbox"/> Special Retail Liquor (7 days or less)        |
| <input type="checkbox"/> Special Retail Liquor (over 30 days)         | <input type="checkbox"/> Special Retail Liquor (under 30 days)         |
| <input type="checkbox"/> Division I Dance Permit (customer)           | <input type="checkbox"/> Division II Dance Permit (entertainers)       |
| <input type="checkbox"/> Pool Table Permit (send copy of application) |  |

Kitchen equipped: yes  no

Number of table and chairs NA

Date Applied: 10/28/21

Revenue Examiner: GS

Copy: Fire Prevention  
Health Department  
Community Development  
Operation New Birmingham  
Melanie Genkin (pool tables)

**City of Birmingham  
Application for  
Alcoholic Beverage License**

**New Application**   
**Transfer**

**BEER-TYPE 050/WINE-TYPE 070(OFF PREMISE ONLY)**  
(Enter Type of License Applied For)

By: **GS**  
(Revenue Official)

1. Name of Applicant (s) 3<sup>rd</sup> & 25 Investments LLC  
(Indicate whether Individual, Partnership, Corporation, LLC, LLP, etc)
2. Name and address of individual applicant or all partners and members if partnership or assoc., or all officers and directors, if corporation  
(Attach separate sheet if necessary)

Social Security Number Drivers License Number Name of Owner, Officer or Partner	Title	Date of Birth Place of Birth	Present Residence Address	Length of Residence at Place Named
ALDL# [REDACTED] Joshuah Kinlu Thuku	Member	[REDACTED] Nairobi, Kenya	807 royal Oaks Dr Birmingham, AL 35244	2 months

Note: If a corporation, LLC or LLP, give place and date of incorporation or issuance of certificate of authority to do business in Alabama:

Book 853-667 Page: 1 of 3 Date: 5/6/2021 County: Jefferson  
Foreign Corporation: certificate of Authority Date:  (get copy of original papers)

3. Trade Name P4L FoodMart
- 4(a) Location 3016 Winewood Rd  
Exact Street Number, or if on Highway, give details as to Location  
Birmingham, Alabama Zip Code 35215 County  Jefferson  Shelby
- (b) Length of time at this location \_\_\_\_\_
- (c) Mailing Address: 807 Royal Oaks Dr Birmingham, AL 35244
- (d) Business Phone \_\_\_\_\_ Fax: \_\_\_\_\_ Other Contact: (205)942-0814

5. Name, trade name and License number of last or previous licensee: HHPR Corp  
Trade name Jet Pep Year 2011 Type 150k 150n Taxpayer ID 466390

- 6 (a) Owner of real estate for which license is desired LGP Realty Holdings LP  
600 Hamilton St, Ste 500 Allentown, PA 18101 Address
- (b) Give a full description of the premises for which a license is desired: New Construction  Existing Structure   
Description  Gas Station
- (c) Is establishment equipped with tables and chairs? Yes  No  If "Yes", how many? \_\_\_\_\_

7. Has a liquor, malt or brewed beverage license for premises ever been denied, suspended or revoked?  Yes  No  
If "Yes", explain fully \_\_\_\_\_

- 8 (a) Pool Tables? Yes  No  Coin Operated? Yes  No  Standard Provider:  
(b) Video Games? Yes  No  Juke Box or Slot Musical Equipment? Yes  No   
(c) Vending Machines (Snacks/Sodas)? Yes  No  Cigarettes or Tobacco Products? Yes  No  Other? \_\_\_\_\_

- 9 (a) Will you allow dancing? Yes  No  If "Yes": Customer/Patron?  Div I Exhibition/Performance?  Div II  
(b) Independent Contract Employees (Disc Jockey, Band, Bartenders, Servers)? Yes  No

- 10 (a) Are these premises kitchen equipped? Yes  No  Not Applicable
- (b) Is kitchen apart from but convenient to the dining room? Yes  No
- (c) Is place of business habitually and principally used for providing food to the public? Yes  No
- (d) If not kitchen equipped, is any type of food served? Yes  No  If "Yes", explain Grocery Items
- (e) Are these premises equipped for on premises consumption of liquor? Yes  No
- (f) Will this business be operating primarily as a package store? Yes  No
- (g) Seating Capacity: \_\_\_\_\_
- (h) For a SPECIAL RETAIL LICENSE, less than thirty (30) days: Starting Date \_\_\_\_\_ Ending Date \_\_\_\_\_
- (i) For a SPECIAL RETAIL LICENSE, more than thirty (30) days: Starting Date \_\_\_\_\_ Ending Dec. 31, \_\_\_\_\_
- (j) For a SPECIAL EVENTS RETAIL LICENSE, not to exceed seven (7) days: Starting \_\_\_\_\_ Ending \_\_\_\_\_  
 (Note: Application must be filed 120 days in advance of event for which license is applied for)
- (k) Event Sponsor \_\_\_\_\_ Phone Number \_\_\_\_\_
- (1) Sponsor Letter of Designation? Yes  No
- (2) Multi-Vendor Sponsorship? Yes  No
- (3) Street Closing Required? Yes  No
- (4) Park Board Permission? Yes  No

- 11 (a) Does the club charge and collect dues from elected members? Yes  No
- (b) How many paid-up members are there in the club? \_\_\_\_\_ Yes  No
- (c) Are regular meetings held? Yes  No  If so, when? \_\_\_\_\_
- (d) Is business conducted through officers regularly elected? Yes  No
- (e) Are members admitted by written application, investigation, and ballot? Yes  No
- (f) For what purpose is the club organized and operated? Social  Patriotic  Political  Athletic  Other

12. List below the court records for law violations in the last ten (10) years, if any, of each person interested in this application, including the manager, whether as sole applicant, partner, officer, member, or landlord. (Do not include traffic violations, except D.U.I. and reckless driving. If no record, state "None".)

Name	Violation Charged	Name of Court	Date	Disposition of Case
<u>NO-Applicant</u>				

Applicant for the Alcoholic Beverage license requested by the aforementioned applicant hereby swears or affirms that he or she has read said application and that all the statements therein and the facts set forth therein are true and correct, and that the applicant is the only person interested in the business for which said license is requested.

Sworn and subscribed before me this 28<sup>th</sup> day of October, 2021

[Signature]  
Signature of Affiant

[Signature]  
Signature of Revenue Official

**This application will not be processed until all fees due at the time of application are paid and receipts are on file.**

**TRANSFER OF CITY OF BIRMINGHAM BUSINESS LICENSE**  
**(CONTROLLED)**

I, HHR Corp holding City of Birmingham  
(current taxpayer)  
License ID# [REDACTED], located at 3016 Winewood Rd  
(sub-digit City ID) (business address)  
Birmingham, AL 35215, hereby agree that said License be  
transferred to 3rd 425 Investments LLC  
(applicant)  
provided 3rd 425 Investments LLC obtains approval  
(applicant)  
from the local governing body and meets all the requirements of the

ABC Board. I understand that I am responsible for the operation of  
this licensed establishment and for all taxes due until 3rd 425 Investments LLC  
obtains his/her license from the ABC Board.  
(applicant)

I also understand that if for any reason this transfer is not  
approved by the local governing body or the ABC Board, I must take  
over complete control, operation, and responsibility of these licensed  
premises. If I do not continue operating this licensed establishment,  
then, I will turn in my ABC Board License to the local ABC Board Field  
Office and all my City of Birmingham licenses to the Revenue Division  
of the Finance Department of the City of Birmingham.

I further understand that this license will not be transferred  
until all taxes and licenses are paid and current.

LICENSEE Sohag S. Patel  
APPLICANT Jayesh Patel  
Witness [Signature]  
NOTARY [Signature]

DATE 10/28/2021  
DATE 10/28/21  
DATE 10/28/21

**PARCEL ID:** 011300221000001015

**SOURCE:** TAX ASSESSOR RECORDS      **TAX YEAR:** 2019

**DATE:** Tuesday, October 26, 2021 2:37:15 PM

**OWNER:** FRATERNAL ORDER OF POLICE

**ADDRESS:** 2988 WINEWOOD RD

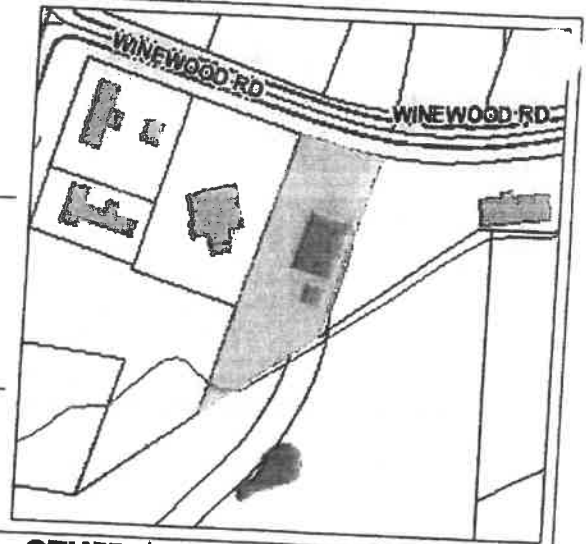
**CITY/STATE:** BIRMINGHAM AL

**ZIP+4:** 35215--4198

**SITE ADDR:**

**CITY/STATE:** , AL

**ZIP:**



**LAND:** \$312,000.00

**BLDG:** \$452,900.00

**OTHER:** \$0.00

**AREA:** 65,433.11

**ACRES:** 1.50

**SUBDIVISION INFORMATION:**

**NAME** WINEWOOD 3RD SEC 4TH ADD

**BLOCK:**

**LOT:** A

**Section:** 22-16-2W

**Land Slide Zones:** Not in Land Slide Zones

**Historic Districts:** Not in Historic Districts

**Commercial Revitalization District:** Not in Commercial Revitalization District

**Fire District:** Not in Fire District

**Flood Zones:** Not in Flood Zones

**Tax Increment Financing District:** Not in Tax Increment Financing District

**Neighborhoods:** Echo Highlands (703)

**Communities:** East Pinson Valley (7)

**Council Districts:** District - 1 (Councilor: Clinton Woods)

**Zoning Outline:** CC2

**Demolition Quadrants:** DEM Quadrant - 4

**Impaired Watersheds:** Not in Impaired Watersheds

**Strategic Opportunity Area:** Not in Strategic Opportunity Area

**RISE Focus Area:** Not in RISE Focus Area

**Tax Delinquent Property:** Not in Tax Delinquent Property

**EPA Superfund:** Not in EPA Superfund

**Opportunity Zones:** Not in Opportunity Zones

**Judicial Boundaries:** JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.

# LICENSE STATUS REPORT FORM

Date: 4/27/21

To: Hunter Williams, Chairman  
Public Safety

Subject: Applicant's Name Two Amigos Mexican Cantina LLC  
Business Name Two Amigos Mexican Cantina  
Business Address 328 Palisades Blvd Ste 10

### Type of License & Description

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I           | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I                    | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input type="checkbox"/> Beer Off Premise                       | <input type="checkbox"/> Beer On & Off Premise                         |
| <input type="checkbox"/> Wine Off Premise                       | <input type="checkbox"/> Wine On & Off Premise                         |
| <input checked="" type="checkbox"/> Restaurant Retail Liquor    | <input type="checkbox"/> Special Retail License (over 30 days)         |
| <input type="checkbox"/> Special Retail License (under 30 days) | <input type="checkbox"/> Pool Table Permit                             |
| <input type="checkbox"/> Division I Dance Permit (customers)    | <input type="checkbox"/> Division II Dance Permit                      |

The Glen Iris Neighborhood Association met on Dec. 6 and voted in reference to the above named license application. The concerns of the Neighborhood regarding the granting of this license are indicated as follows: (Please check one)

22        Attendance           Oppose     Support           No Recommendation

Reason for Opposition \_\_\_\_\_

Applicant:     attended NA meeting           did not attend NA meeting

James Burton Secretary  
President

(Please return this form to the of attention Hunter Williams /Public Safety; City of Birmingham; 710 North 20<sup>th</sup> Street, Birmingham, AL 35203; City Council Chambers; 3<sup>rd</sup> Floor) Failure to attend the neighborhood meeting may result in a delay in the liquor process.



**New Application: Restaurant Retail Liquor – Type 020**

The following applicant has applied to the City of Birmingham for an alcohol, dance or pool table license:

Name of Applicant: Two Amigos Mexican Cantina, LLC  
Mailing Address: 328 Palisades Blvd Ste 10  
Birmingham, AL 35209  
Trade Name: Two Amigos Mexican Cantina  
Location Address: 328 Palisades Blvd Ste 10  
Contact Number: (562)547-0772 Contact Person: Angelica Garcia

New Application  Transfer

**Type of License**

- |   |  |
|---|--|
| <input type="checkbox"/> Lounge Retail Liquor Class I                 | <input type="checkbox"/> Lounge Retail Liquor Class II (Package Store) |
| <input type="checkbox"/> Club Liquor Class I (Fraternal)              | <input type="checkbox"/> Club Liquor Class II (Private)                |
| <input type="checkbox"/> Beer Off Premise                             | <input type="checkbox"/> Beer On & Off Premise                         |
| <input type="checkbox"/> Wine Off Premise                             | <input type="checkbox"/> Wine On & Off Premise                         |
| <input checked="" type="checkbox"/> Restaurant Retail Liquor          | <input type="checkbox"/> Special Retail Liquor (7 days or less)        |
| <input type="checkbox"/> Special Retail Liquor (over 30 days)         | <input type="checkbox"/> Special Retail Liquor (under 30 days)         |
| <input type="checkbox"/> Division I Dance Permit (customer)           | <input type="checkbox"/> Division II Dance Permit (entertainers)       |
| <input type="checkbox"/> Pool Table Permit (send copy of application) |  |

Kitchen equipped: yes  no

Number of table and chairs 30TBS/184CHS

Date Applied: 4/27/21

Revenue Examiner: GS

Copy: Fire Prevention  
Health Department  
Community Development  
Operation New Birmingham  
Melanie Genkin (pool tables)  
Katrina Thomas (PEP)

**City of Birmingham  
Application for  
Alcoholic Beverage License**

New Application   
Transfer

**RESTAURANT RETAIL LIQUOR-TYPE 020**

(Enter Type of License Applied For)

By: **GS**

(Revenue Official)

1. Name of Applicant (s) Two Amigos Mexican Cantina, LLC  
(Indicate whether Individual, Partnership, Corporation, LLC, LLP, etc)
2. Name and address of individual applicant or all partners and members if partnership or assoc., or all officers and directors, if corporation  
(Attach separate sheet if necessary)

Social Security Number Drivers License Number Name of Owner, Officer or Partner	Title	Date of Birth Place of Birth	Present Residence Address	Length of Residence at Place Named
<u>ALDL# [REDACTED] Damian Rodriguez Tellez</u>	<u>Member</u>	<u>[REDACTED] Mexico</u>	<u>107 Canterbury Ct Oneonta, AL 35121</u>	<u>6 years</u>

Note: If a corporation, LLC or LLP, give place and date of incorporation or issuance of certificate of authority to do business in Alabama:

Book 509-384 Page: 1 of 3 Date: 2/5/2018 County: Blount  
Foreign Corporation: certificate of Authority Date:    (get copy of original papers)

3. Trade Name Two Amigos Mexican Cantina

4(a) Location 328 Palisades Blvd Ste 10  
Exact Street Number, or if on Highway, give details as to Location  
Birmingham, Alabama Zip Code 35209 County  Jefferson  Shelby

(b) Length of time at this location

(c) Mailing Address: 328 Palisades Blvd Ste 10 Birmingham, AL 35209

(d) Business Phone (202)493-0101 Fax:    Other Contact: (562)547-0772

5. Name, trade name and License number of last or previous licensee:  
Trade name    Year    Type    Taxpayer ID   

6 (a) Owner of real estate for which license is desired Palisades of Birmingham LLC  
3500 Lenox RD NE Ste 200 Atlanta, GA 30326  
Address   

(b) Give a full description of the premises for which a license is desired: New Construction  Existing Structure   
Description  1 Story Bldg

(c) Is establishment equipped with tables and chairs? Yes  No  If "Yes", how many? 30TBS/184CHS

7. Has a liquor, malt or brewed beverage license for premises ever been denied, suspended or revoked?  Yes  No  
If "Yes", explain fully   

8 (a) Pool Tables? Yes  No  Coin Operated? Yes  No  Standard Provider:  
(b) Video Games? Yes  No  Juke Box or Slot Musical Equipment? Yes  No   
(c) Vending Machines (Snacks/Sodas)? Yes  No  Cigarettes or Tobacco Products? Yes  No  Other?   

9 (a) Will you allow dancing? Yes  No  If "Yes": Customer/Patron?  Div I Exhibition/Performance?  Div II  
(b) Independent Contract Employees (Disc Jockey, Band, Bartenders, Servers)? Yes  No

**PROJECT DESCRIPTION:**

TWO AMIGOS RESTAURANT WILL ALTER AND RESTORE THE INTERIOR OF AN EXISTING RESTAURANT TO A MEXICAN RESTAURANT. WORK WILL INCLUDE MINOR DEMOLITION OF NON-LOADBEARING WALLS AND FINISHES, CONSTRUCTION OF NEW NON-LOADBEARING PARTITIONS, FINISHES, BAR, TWO BOARDS, PLUMBING, AND ELECTRICAL.

**CODE REFERENCE DATA: (2016 INTERNATIONAL BUILDING CODE)**

OCCUPANCY TYPE: ASSEMBLY (RESTAURANT)  
 CONSTRUCTION TYPE: TYPE II SPRINKLERED  
 NUMBER OF STORIES: ONE ALLOWED TWO  
 HEIGHT: ALLOWED: 40 FT. HEIGHT: LESS THAN 40 FT.

**AREA:**

ASSEMBLY (DINING/BAV) 5,349 SF  
 KITCHEN/RESTROOMS 1,665 SF @ 100 SF/OCCUP  
 TOILET/RESTROOMS 729 SF @ 100 SF/OCCUP  
 TOTAL AREA 7,743 SF

**OCCUPANT LOAD:**

ASSEMBLY 5,349 SF @ 15 SF/OCCUP = 357 OCCUPANTS  
 KITCHEN/RESTROOMS 1,665 SF @ 100 SF/OCCUP = 17 OCCUPANTS  
 TOILET/RESTROOMS 729 SF @ 100 SF/OCCUP = 8 OCCUPANTS  
 TOTAL OCCUPANT LOAD 382 OCCUPANTS

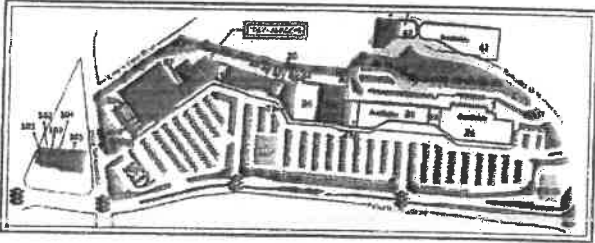
NUMBER OF EXITS: REST = 2 PROVIDED = 3

EXIT WIDTH REQUIRED = 802 OCCUPANTS X 0.2 INCH/OCCUPANT = 160 INCHES  
 EXIT WIDTH PROVIDED = 2 DOORS X 34 INCHES/DOOR = 68 INCHES

DISTANCE TO AN EXIT: MAX ALLOWED = 600 FT. PROVIDED = LESS THAN MAX

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE & REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT'S OFFICE.
2. THE OWNER SHOULD VERIFY ONLY GENERAL CONTRACTORS LICENSED IN THE STATE OF ALABAMA FOR THE CONSTRUCTION OF THIS PROJECT, PREFERABLY THOSE EXPERIENCED IN BUILDINGS OF THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
3. CONTRACTOR TO INSTALL TEMPORARY BRACING AND SHORING AS NECESSARY FOR THE STABILIZATION OF THE WORK DURING CONSTRUCTION.
4. BRACE ALL WALLS SECURELY TO THE STRUCTURE.
5. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR ALL CONSTRUCTION DISCIPLINES.
6. BUILDER IS CAUTIONED AGAINST SCALING FROM THESE DRAWINGS.
7. THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURES INDICATED HEREIN. DEVIATION FROM THESE DRAWINGS ARE AT THE BUILDER'S RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM THE ARCHITECT.
8. CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL, AND PLUMBING INSPECTIONS, ETC.
9. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
10. PROVIDE TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS. SEE LIST FOR LOCATIONS.
11. ALL SUBCONTRACT WORK (ELECTRICAL, HVAC, PLUMBING, ETC) SHALL BE PERFORMED BY QUALIFIED CONTRACTORS LICENSED IN THE STATE OF ALABAMA.
12. ALL TOILET ROOMS SHALL BE FULLY ACCESSIBLE. PROVIDE ALL REQUIRED HARDWARE, CLEARANCES, AND MOUNTING HARDWARE AND ACCESSORIES AT REQUIRED HEIGHTS. PROVIDE CLEANABLE FINISHES PER HEALTH DEPT. REQUIREMENTS.
13. ALL HARDWARE IS AN ACCESSIBLE FINISH SHALL BE THE ACCESSIBLE TYPE.
14. INSTALL ALL DOORS AND HARDWARE PER MANUFACTURER'S INSTRUCTIONS.
15. UNLESS NOTED OTHERWISE, ALL LUMBER EXPOSED OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
16. THE ARCHITECT IS NOT RESPONSIBLE FOR, NOR DOES THE ARCHITECT HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, PROGRAMS OR SAFETY IN CONNECTION WITH THE HANDLING, STORAGE, INSTALLATION OR BRACING OF THE MATERIALS OR WORK OF ANY PORTION OF THIS PROJECT. THE CONTRACTOR OR THE OWNER IN THE ABSENCE OF A SUBCONTRACTOR ASSUMES THIS RESPONSIBILITY.
17. THE ARCHITECT FOR THIS PROJECT HAS BEEN CONTRACTED TO PROVIDE SERVICES LIMITED TO A REVIEW OF THE SAFETY REQUIREMENTS AND TO PROVIDE A MINIMAL SET OF DRAWINGS NECESSARY TO PERFORM A BUILDING PERMIT. ALL ADDITIONAL INFORMATION NOT CONTAINED HEREIN SHALL BE INCLUDED AS PART OF THE OWNER/CONTRACTOR WRITTEN CONTRACT FOR SERVICES. COORDINATION OF THESE SERVICES AS WELL AS THAT OF QUALITY CONTROL IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR. THESE LIMITED ARCHITECTURAL DOCUMENTS HAVE BEEN PRODUCED SPECIFICALLY FOR A DESIGN-BUILD PROJECT. THE USE OF THESE DOCUMENTS BY COMPETITIVE BIDDING IS NOT RECOMMENDED AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
18. METAL WALL FRAMING: CONTRACTOR SHALL SUBMIT THE FOLLOWING INFORMATION FROM THE SELECTED METAL FRAMING MANUFACTURER:  
 RECOMMENDED MAXIMUM HEIGHT, STUD BRACING, ANCHORS AND BRACING FOR NEW WALLS AND PARTITIONS AS IT APPLIES TO THIS PROJECT. SUBMIT TO ARCHITECT.



  
**A. L. HENRY**  
 ARCHITECT  
 2217 Palmetto  
 Mobile, AL 36688-1127  
 251-333-1977  
 ahenry@alhenry.com

**TWO AMIGOS RESTAURANT**  
382 OCCUPANTS (DINING/BAV) 17 OCCUPANTS (KITCHEN/RESTROOMS) 8 OCCUPANTS (TOILET/RESTROOMS)

DATE: MAY 14, 2021  
 SHEET NO: C-1



PROJECT:  
**RENOVATION & ADDITION FOR  
TWO AMIGOS RESTAURANT**

PROJECT DESCRIPTION:  
CONCEPT DESIGN  
2341 PLYMOUTH AVENUE, SUITE 100  
ANN ARBOR, MI 48106

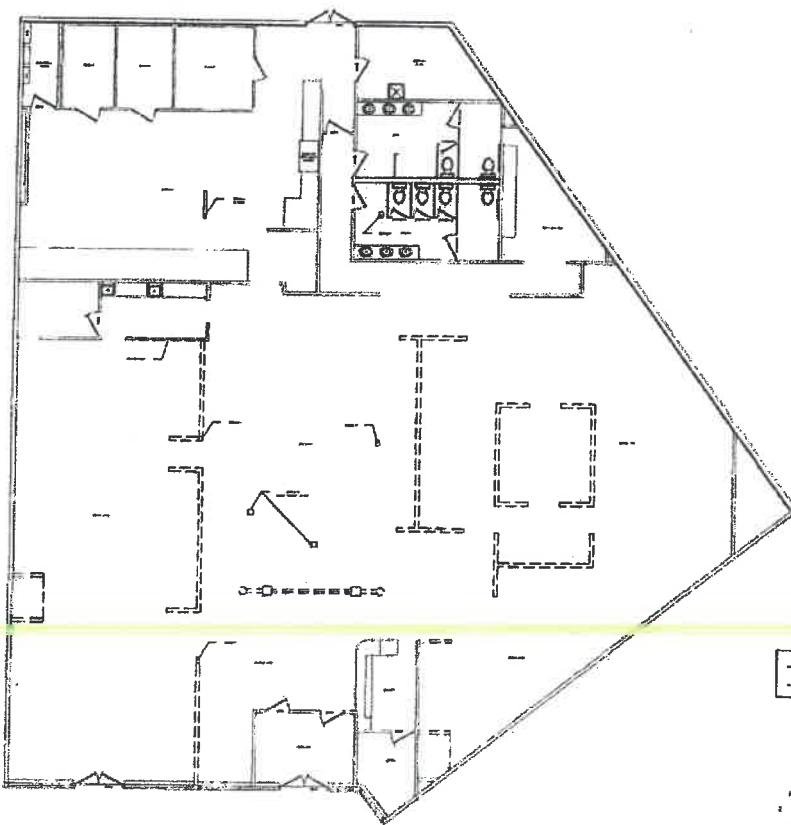
DATE:  
FEBRUARY 2, 2012

REVISIONS:  
NO. DESCRIPTION

SCALE:  
SHEET NO. 1-10

SHEET TITLE:  
DEMO  
FLOOR PLAN

SHEET NO.  
**A-1**



- SYMBOLS:
1. REMOVE ALL WALLS IN KITCHEN AREA
  2. REMOVE SLAB BLOCKS INCLUDING AT LEAST 2' W/ IN EACH SURROUNDING ROOM.
  3. REMOVE ALL PARTS FROM FLOOR, AND BRING OFF ALL SURFACES TO FINISH CONCRETE FLOOR.

**PARCEL ID:** 012900144018002000

**SOURCE:** TAX ASSESSOR RECORDS      **TAX YEAR:** 2019

**DATE:** Tuesday, April 13, 2021 3:11:51 PM

**OWNER:** PALISADES OF BIRMINGHAM LLC 481174

**ADDRESS:** 3500 LENOX RD NE STE 200

**CITY/STATE:** ATLANTA GA

**ZIP+4:** 30326--4237

**SITE ADDR:**

**CITY/STATE:** , AL

**ZIP:**



**LAND:** \$1,986,300.00

**BLDG:** \$4,086,200.00

**OTHER:** \$0.00

**AREA:** 343,005.28

**ACRES:** 7.87

**SUBDIVISION INFORMATION:**

**NAME** A RESURVEY OF LOT 1D OF T

**BLOCK:**

**LOT:** PT 1

**Section:** 14-18-3W

**Land Slide Zones:** Not in Land Slide Zones

**Historic Districts:** Not in Historic Districts

**Commercial Revitalization District:** Not in Commercial Revitalization District

**Fire District:** Not in Fire District

**Flood Zones:** Not in Flood Zones

**Tax Increment Financing District:** Not in Tax Increment Financing District

**Neighborhoods:** Glen Iris (1702)

**Communities:** Southside (17)

**Council Districts:** District - 3 (Councilor: Valerie A. Abbott)

**Zoning Outline:** B5

**Demolition Quadrants:** DEM Quadrant - 1

**Impaired Watersheds:** Impaired Watershed - Upper Shades Creek

**Strategic Opportunity Area:** Not in Strategic Opportunity Area

**RISE Focus Area:** Not in RISE Focus Area

**Tax Delinquent Property:** Not in Tax Delinquent Property

**EPA Superfund:** Not in EPA Superfund

**Opportunity Zones:** Not in Opportunity Zones

**Judicial Boundaries:** JEFFERSON

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